

Board of Adjustment

Agenda

October 18, 2023
City Hall Council Chambers
749 Main Street
6:30 PM

Members of the public are welcome to attend and give comments remotely; however, the in-person meeting may continue even if technology issues prevent remote participation.

- You can call in to + 1 346 248 7799
Webinar ID # 810 7350 9524, Passcode: 969190
- You can log in via your computer. Please visit the City's website here to link to the meeting: www.louisvilleco.gov/boa

The Board will accommodate public comments during the meeting. Anyone may also email comments to the Board prior to the meeting at Planning@LouisvilleCO.gov.

1. Call to Order – 6:30 PM
2. Roll Call
3. Approval of Agenda
4. Public Comments on Items Not on the Agenda
5. Regular Items
 - a) **953 St Andrews Lane – Variance Request** – A request for a variance for a 15.8-ft front setback where 20 feet is required for a covered porch on a new single-family home.
VAR-000474-2023 – Public Hearing
 - Applicant/Owner: Emily and Rob De Voto

Persons planning to attend the meeting who need sign language interpretation, translation services, assisted listening systems, Braille, taped material, or special transportation, should contact the City Clerk's Office at 303 335-4536 or MeredythM@LouisvilleCO.gov. A forty-eight-hour notice is requested.

Si requiere una copia en español de esta publicación o necesita un intérprete durante la reunión, por favor llame a la Ciudad al 303.335.4536 o 303.335.4574.

- Case Manager: Ellie Hassan, Planner II
 - ✓ Open Public Hearing
 - ✓ Opening Statement by Chair
 - ✓ Public Notice and Application Certification
 - ✓ Disclosures
 - ✓ Staff Presentation and Questions of staff
 - ✓ Applicant Presentation and Questions of applicant
 - ✓ Public Comment
 - ✓ Applicant discussion of public comment, if any
 - ✓ Closing statement by staff and applicant and Final questions by board
 - ✓ Close public hearing
 - ✓ Board discussion
 - ✓ Board action
- 6. Staff Comments
 - a) Minutes from September 20, 2023 – to complete at next meeting
- 7. Board Comments
- 8. Items Tentatively Scheduled for the Meeting on November 15, 2023
- 9. Adjourn

CITY OF LOUISVILLE
BOARD OF ADJUSTMENT
STAFF REPORT
October 18, 2023

APPLICANT/OWNER: Emily and Rob De Voto

STAFF PLANNER: Ellie Hassan, Planner II

LOCATION: 953 St Andrews Lane
Lot 102, Coal Creek Ranch Filing 3 Replat A Subdivision

ZONING: Planned Community Residential (PCZD-R)

REQUEST: **Case #VAR-000474-2023** – A variance request for a 15.8-ft front setback where 20 feet is required for a covered porch on a new single-family home.



SUMMARY:

The applicant requests approval of a variance from the Coal Creek Ranch Filing 3 Planned Unit Development (PUD) to allow a 15.8-ft front setback where 20 feet is required for a two-story covered porch and deck on a new single-family home.

BACKGROUND:

The property is located in the Coal Creek Ranch Filing 3 Planned Unit Development (PUD) and Coal Creek Ranch Filing 3 Replat A Subdivision (see attachments 3 and 4), which were approved by the City in 1990 and 1991 respectively. This property is also part of the Coal Creek Ranch General Development Plan (GDP), which established the single-family residential use. The following is a summary of the development standards based on the Coal Creek Ranch Filing 3 PUD. Land area summaries for lots 96-140, which are part of the replatted subdivision, are specified separately in the PUD:

| | |
|---------------------------------|-------------------------------|
| Minimum Lot Area (Lots 96-140): | 6,500 Sq. ft. |
| Maximum Lot Area (Lots 96-140): | 21,500 Sq. ft. |
| Front Setback: | 20 ft. for lots > 100ft. deep |
| Interior Side Setback: | 5 ft. |
| Rear Setback: | 20 ft. |
| Maximum Height: | 35 ft. |
| Maximum Lot Coverage: | None |

The original house, built in 1993, was destroyed by the Marshall Fire in 2021. A tiered retaining wall on the east and southern portions of the property was damaged as well. This wall spanned the properties of 953 St Andrews and 357, 359, 360, 361, and 363 Troon Court. The property owners have been working together to rebuild the wall, which will be close to 17 ft. tall in portions abutting the property at 953 St Andrews. It will be in the same location, however it will be a single wall versus a tiered wall.

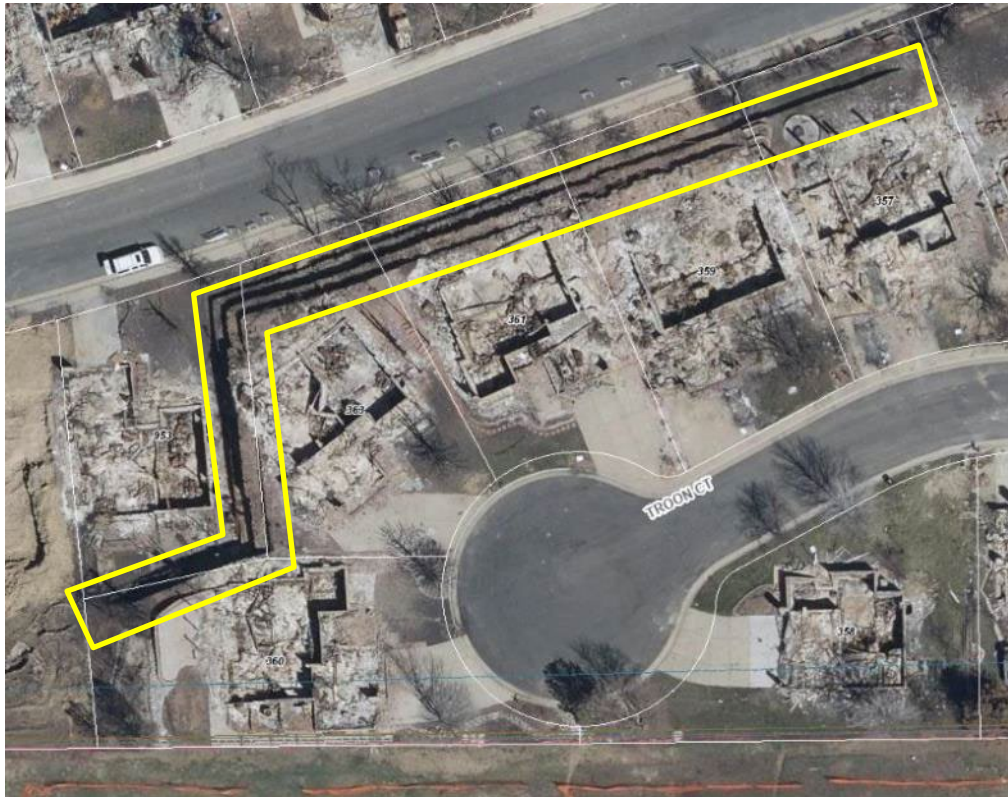


Figure 1 – Existing tiered retaining wall footprint

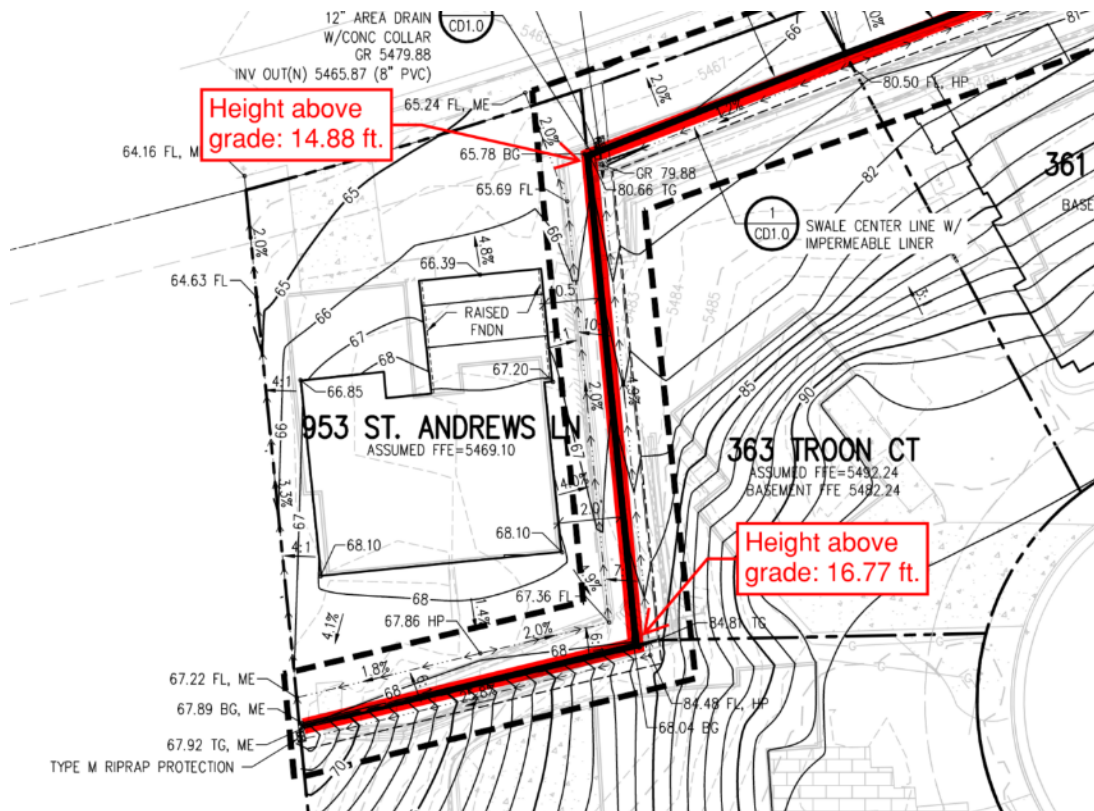


Figure 2 Proposed Retaining Wall

PROPOSAL:

The applicant is proposing a new two-story home to replace the previous two-story home. The proposed footprint is about 200 square-feet larger but 3 ft. narrower and about a foot shallower than the previous structure. The request before the Board of Adjustment is to allow a 15.8-ft front setback where 20 feet is required, allowing for a 55 square-foot encroachment of a covered porch and second-story covered deck. The front setback variance would place the house closer to the retaining wall, allowing for more usable, unshaded yard space on the west and south compared to the conventional building envelope.

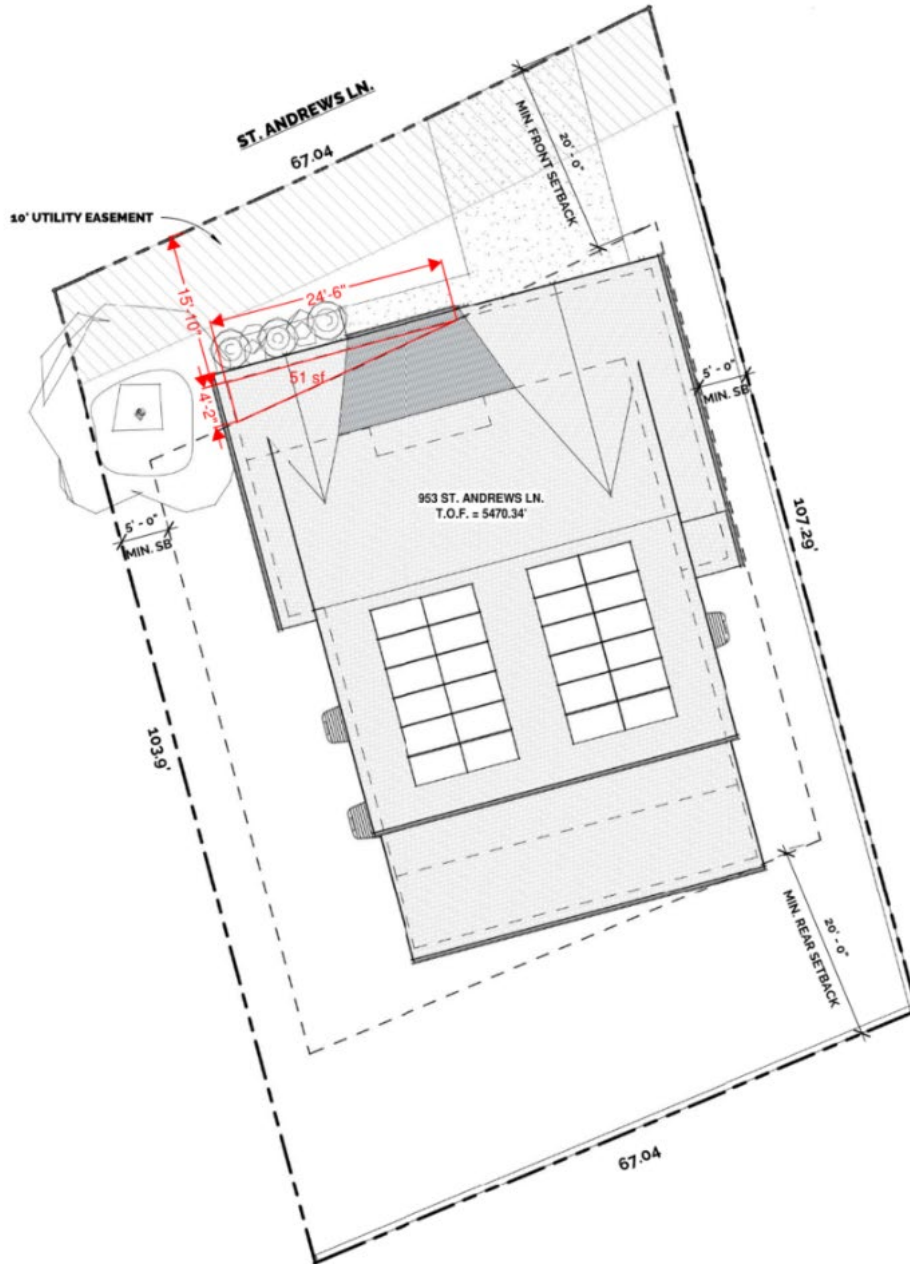


Figure 2 Proposed Site Plan



Figure 3 Elevations - area of variance highlighted

REVIEW CRITERIA:

The Board of Adjustment has authority to grant or deny a variance request based on the review criteria found in Municipal Code Sections 17.48.110.B.1-6. The following are staff's analysis of the criteria with recommended findings on each.

1. *That there are unique physical circumstances or conditions such as irregularity, narrowness or shallowness of lot, or exceptional topographical or other physical conditions peculiar to the affected property.*

Staff finds the property has unusual physical circumstances created from the retaining wall and the rear neighboring lot that is perpendicular to the property. The rear property line abuts the side yard of a neighboring lot at 360 Troon Ct. The neighboring lot is 2-8 ft. above the grade of 953 St Andrews in portions that abut the rear lot line, and development of 360 Troon Ct would likely impact shade on 953 St Andrews more than a typical rear-yard facing neighbor. The wall is necessary to create stable grading and drainage for the properties along Troon Court and St Andrews Lane. The wall creates a monolithic structure on the eastern and southern boundaries that shades the property. **Staff finds the proposal meets this criterion.**



Figure 4 Impact of shade on 953 St Andrews from existing retaining wall and rear neighbor's former house

2. *That the unusual circumstances or conditions do not exist throughout the neighborhood or district in which the property is located.*

This property is the only lot in the Coal Creek Filing 3 neighborhood that is at the bottom of a retaining wall that abuts both a rear and side property boundary. **Staff finds the proposal meets this criterion.**

3. *That because of such physical circumstances or conditions, the property cannot reasonably be developed in conformity with the provisions of Title 17 of the Louisville Municipal Code.*

Staff finds that the new retaining wall and orientation of the rear-abutting lot at 360 Troon Court creates a condition where the property receives more shade than other similar properties, limiting the ability to develop the lot and yard spaces in a way that promotes the convenience, prosperity, and welfare of the residents without seeking a variance. **Staff finds the proposal meets this criterion.**

4. *That such unnecessary hardship has not been created by the applicant.*

The subdivision and Planned Unit Development created lots along Troon Court that were approximately 20ft above the grade of the lot at 953 St Andrews Ln, requiring retaining walls. The applicants did not create this subdivision and the conditions that necessitated a retaining wall. **Staff finds the proposal meets this criterion.**

5. *That the variance, if granted, will not alter the essential character of the neighborhood or district in which the property is located, nor substantially or permanently impair the appropriate use or development of adjacent property.*

Staff finds that the proposal would not alter the essential character of the neighborhood. The house is similar in size to other homes under construction in Coal Creek Ranch Filing 3. Many nearby rebuilds have covered porches that are comparable in size to the proposed covered porch encroachment. There are support letters from nearby properties as well, including the immediately effected neighbor at 951 St Andrews Lane (see attachment 6). **Staff finds the proposal meets this criterion.**

6. *That the variance, if granted, is the minimum variance that will afford relief and is the least modification possible of the provisions of Title 17 of the Louisville Municipal Code that is in question.*

The orientation of the structure allows for the least encroachment necessary into the front yard setback. The structure otherwise conforms to side and rear setbacks, as well as height requirements. **Staff finds the proposal meets this criterion.**

PUBLIC COMMENTS:

Staff received letters of support from neighboring properties. Public comments received to date are included as Attachment 6.

STAFF RECOMMENDATION:

Staff finds the proposal meets the applicable variance criteria in Section 17.48.110 of the LMC, and therefore, recommend approval of the variance request.

BOARD ACTION:

The Board may approve (with or without condition or modification), deny, or continue the application to a future meeting for additional consideration. The Board may also request

additional information if they feel it is needed for their proper consideration of the variance application. In approving an application, the Board must find that all six variance criteria, insofar as applicable, have been met. The Board should adopt specific findings for each review criterion in support of any motion.

ATTACHMENTS:

1. Application Materials
2. Proposed Architectural Plans
3. Coal Creek Ranch Filing 3 PUD (1990)
4. Coal Creek Ranch Filing 3 Replat A Subdivision (1991)
5. Proposed Retaining Wall – Grading and Drainage Plan
6. Public Comment

ELECTRONIC LAND USE HEARING REQUEST CASE NO. _____

APPLICANT INFORMATION

Firm: Emily & Rob De Voto

Contact: Emily & Rob De Voto

Address: 4150 Riverside Ave
Boulder, CO 80304

Mailing Address: 3980 Broadway, #103-232
Boulder, CO 80304

Telephone: 303-638-6032

Fax: _____

Email: emilymamaboulder@gmail.com

OWNER INFORMATION

Firm: Emily & Rob De Voto

Contact: Emily & Rob De Voto

Address: 4150 Riverside Ave
Boulder, CO 80304

Mailing Address: 3980 Broadway #103-232
Boulder, CO 80027

Telephone: 303-638-6032

Fax: _____

Email: emilymamaboulder@gmail.com

REPRESENTATIVE INFORMATION

Firm: _____

Contact: _____

Address: _____

Mailing Address: _____

Telephone: _____

Fax: _____

Email: _____

PROPERTY INFORMATION

Common Address: 953 St. Andrews Lane

Legal Description: Lot 102 Blk _____

Subdivision CCR South

Area: 7,130 Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

I hereby request the public hearing(s) on this application be scheduled to be conducted by Electronic Participation in accordance with the attached Resolution No. 30, Series 2020, as adopted by the City Council on April 7, 2020, and in accordance with Resolution No. 38, Series 2020, as adopted by City Council on June 2, 2020 if such hearing(s) can be scheduled during a time period when in-person meetings are not being held due to a health epidemic or pandemic. I acknowledge that holding a quasi-judicial hearing by Electronic Participation may present certain legal risks and involves an area of legal uncertainty, and that having this application heard at a meeting held by Electronic Participation is optional and undertaken at my own risk. I also understand that in-person meetings are preferred for quasi-judicial hearings, and that even if electronic hearing(s) are scheduled, this application will be heard at an in-person meeting if in person meetings have resumed by the scheduled hearing date(s). I further agree to defend and indemnify the City of Louisville in any action that may arise out of, or in connection with, conducting the hearing by Electronic Participation.

SIGNATURES & DATE

Applicant: [Signature]

Print: _____

Owner: _____

Print: _____

Representative: _____

Print: _____

CITY STAFF USE ONLY

- Electronic Hearing Approved: _____
- Date(s) of Hearing(s): _____

July 18, 2023

Dear Variance Committee,

We are writing to request a variance for setbacks on our rebuild at 953 St. Andrews Lane.

Our property is located at the base of the large Troon Court retaining wall. We will have 18'+ high walls on the east (left) and south (rear) sides of our property (we have negative walls).

We have spent so many months and a lot of money, working alongside our Troon neighbors, as well as, the City of Louisville, GROUND Engineering, and JVA on a wall design that is solid and will last for the safety and integrity of our entire neighborhood. Rob & I were unable to begin house design until we had a base understanding from the geo-technical and civil engineering teams on what would be possible for our lot.

Because the wall is so high on east side of our lot, we wanted to move the house as close to that wall as possible. Because of the high walls in the back of the lot, we needed to move the house as forward as possible, so it doesn't feel like a cave in the backyard. Sunlight is very important to us and so is the prospect of recovering as much of a view as possible. As you can see in the drawings, the front right corner of the porch encroaches on the 20' setback and we would like a variance on that setback. Other other setback variance we would like is on the back of lot to account of the porch overhang (by a few inches).

Prior to Lisa Ritchie's departure from the City of Louisville, she was very involved in these conversations and from the get-go had expressed her commitment that the City would go to bat for us with the variance committee around setback variances. On June 2nd, Rob and I, along with our architects, had a conversation with Ellie Hassan and Rob Zuccaro from the City of Louisville. They said that they are willing to recommend to the variance board that they approve of our setback requests. They want to make sure the HOA is on board as well and we have submitted the variance request to the HOA's Architectural Committee for approval.

Before we completely finalize design, we have have to have approved setback variances for the design we are proposing.

Please reach out with any additional questions,

Emily & Rob De Voto
953 St. Andrews Lane
Louisville, Co 80027

Cell - 303-638-6032

Email - emilymamaboulder@gmail.com or rdv@a-jour-net.com

GENERAL NOTES - 2018 IRC

ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION. ALL REFERENCE TO IRC SECTIONS REFER TO THE IRC LOCAL CODES UNLESS SUPERSEDE NOTES HEREIN.

THE BUILDER, PROJECT MANAGER, SUPERINTENDENT AND ALL SUBCONTRACTORS ARE TO EXAMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS BOTH ON THE PLANS AND IN THE FIELD, AND BE RESPONSIBLE FOR ANY ADJUSTMENTS AND/OR CORRECTIONS.

CONTRACTOR TO IMMEDIATELY NOTIFY THE DESIGNER OF ANY ERRORS, OMISSIONS, CONFLICTS OR INCONSISTENCIES FOUND ON THE PLANS DURING THE BIDDING AND/OR CONSTRUCTION OF THE PROJECT OR UPON CONSTRUCTION OF ITEM IN QUESTION.

PROJECT TO BE BUILT FROM "CONSTRUCTION ISSUE" SET OF DRAWINGS.

CONTRACTOR/PROJECT MANAGER TO PROVIDE:

- FOUNDATION DESIGN AND SOILS REPORT BY COLORADO REGISTERED ENGINEER. ENGINEER SHALL BE ON HAND AT THE TIME OF INSPECTION.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWING. DO NOT SCALE.
- ALL DIMENSIONS ARE GIVEN TO FACE OF STUDS. INTERIOR STUD WALLS ARE 2X4 @ 1/2" WIDE UNLESS NOTED OTHERWISE. EXTERIOR STUD WALLS ARE 2X6 @ 1/2" WIDE UNLESS NOTED OTHERWISE.
- PROVIDE FIRE-RACKING IN COMBUSTIBLE CONSTRUCTION TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AT THE FOLLOWING LOCATIONS PER TABLE R902.4.1:
 - IN WALLS VERTICALLY AT THE CEILING AND FLOOR LEVELS
 - IN WALLS HORIZONTALLY AT INTERVALS NOT EXCEEDING 3 FEET
 - AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRING AT FLOOR LEVELS
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR, CEILING ASSEMBLY, PROVIDE DRAFTSTOPS SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SF. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW. DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:
 - CEILING SUSPENDED UNDER THE CEILING ASSEMBLY
 - FLOOR FRAMING IS CONSTRUCTED OF TRUSS TYPE OPEN WEB PERFORATED MEMBERS
- GLAZING REQUIREMENTS REFER TO SECTION R902.8 IN THE IRC AND REQUIREMENTS FOR GLAZING IN HAZARDOUS LOCATIONS REFER TO SECTION R908.4
- ALL DOORS LEADING INTO GARAGES FROM LIVING SPACES ARE TO BE MINIMUM 20 MINUTE RATED, WEATHERSTRIPPED, AND SELF-CLOSING.
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE-BALANCE, THE THERMOSTATIC MIXING OR THE COMBINATION PRESSURE-BALANCE / THERMOSTATIC MIXING VALVE TYPES WITH HIGH-LIMIT STOPS IN ACCORDANCE WITH ASSE 419.9.208 OR CSA B325. THE HIGH-LIMIT STOPS SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MINIMUM 90°F (32°C) PER CSA B325
- CONCRETE TILES & ASPHALT SHINGLES SHALL HAVE THE MIN. NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER FOR ADDITIONAL ROOFING INFORMATION REFER TO IRC & LOCAL CODES
- PROVIDE FLOOR, WALL, ROOF AND FIRE BLOCKING PER R902.2.1 & R902.2.2
- FRISTOP ALL POCKET DOORS AND FLIES PER R902.1.1 & R902.2.2
- IN BATHROOMS CONTAINING A BATHTUB OR SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS AND SIMILAR ROOMS THAT DO NOT HAVE ACCESS TO NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE IS TO BE PROVIDED PER IRC SECTION R903.3
- IN BATHROOMS THAT ONLY CONTAIN A WATER CLOSET OR LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS THAT DO NOT HAVE NATURAL VENTILATION, A MECHANICAL REGULATING FAN IS TO BE PROVIDED
- WHERE RECESSED LIGHT FIXTURES ARE ADJACENT TO COMBUSTIBLE INSULATION, PROVIDE CLEARANCES PER R902.3
- SEE SECTION R902 AND TABLE R902.3.5 FOR MINIMUM THICKNESSES AND APPLICATION / INSTALLATION OF INTERIOR FINISH / CEILING BOARD
- SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE IN ACCORDANCE WITH IRC REQUIREMENTS
- ALL WINDOWS ARE TO BE WEATHERSTRIPPED AND DOUBLE GLAZED FRAME MATERIAL PER GC
- ALL EXTERIOR DOORS AND WINDOWS LEADING TO UNHEATED AREAS ABOVE GRADE ARE TO BE WEATHER-STRIPPED
- GALVANIZED DOWNPOUTS TO HAVE 5" ADJUSTABLE EXTENDERS (TVPI) OR PER LOCAL CODES. DISTANCE FROM END OF EXTENDER TO ADJACENT PROPERTY LINE SHOULD BE 3/8 FEET. EXTENDERS SHOULD BE 4" DIAMETER OR EQUIVALENT. PROVIDE EXTENDERS UNLESS:
- PROVIDE THERMOPLY OR APPROVED EQUIVALENT AIR BARRIER AT VERTICAL EXTERIOR COLD SIDES OF ALL TUB ENCLOSURES, BUILT INS, BETWEEN JOISTS/IRM BOARDS, AND TRUSS STEPS. ALL BATT INSULATION SHALL HAVE FULL ENCLOSURE, EXCEPT ATTICS
- ALL EXTERIOR OPENINGS OR WALL PENETRATIONS EXPOSED TO WEATHER ARE TO BE FLASHED AND FILLED WITH SEALANT TO PREVENT MOISTURE AND AIR INFILTRATION. PROVIDE ALL FLASHING AND COUNTER FLASHING ITEMS AS INDICATED AND AS REQUIRED TO MAKE COMPLETED WORK WATERPROOF. FLASHING SHALL BE BRAKE FORMED TO SHARP LINES AND FITTED TO DETAILS FLASH AND COUNTER FLASH AT ALL ROOF TO WALL CONDITIONS. FL FLASH AND GALK® WOOD SCAFF AND JOISTS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES. FLASH ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH MANUFACTURER'S APPROVED METHODS AND MATERIALS WHICH CONFORMS TO STANDARDS OF LOCAL AND APPLICABLE CODES. SEE SECTION R903
- SLOPE ALL CONCRETE EXTERIOR FLOORS 1/4" PER FOOT (MM) AWAY FROM THE STRUCTURE TO PROVIDE PROPER DRAINAGE
- TO FOUNDATION ELEVATIONS FOR HOUSE AND GARAGE SHALL BE VERIFIED IN FIELD BY GENERAL CONTRACTOR PRIOR TO CONCRETE POUR. SET TO FOUNDATION THAT FINISH GRADE CAN SLOPE AWAY @ 10% FOR 30 FEET FROM FOUNDATION OR TO PROPERTY LINE, OR PER SOILS REPORT. VERIFY THAT EXTERIOR MATERIALS OTHER THAN MASONRY / CONCRETE WILL BE ABOVE FINISH GRADE, OR PER LOCAL CODES, WHERE CONCRETE PORCH PATIO, OR DRIVE IS LESS THAN 6" BELOW TO FOUNDATION. PROVIDE FLASHING, WATERPROOFING PER IRC & LOCAL CODES. SITE PLAN IS PROVIDED FOR COMPLIANCE WITH ZONING ORDINANCES ONLY. GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE DRAINAGE

IECC 2021

OPTION 2- RESIDENTIAL PRESSURE-TIGHTENING OR PRESS-BATTING OF JO

MINIMUM INSULATION VALUES FROM IECC W/ LOCAL VARIATIONS/ AMENDMENTS:

- R-4 EXTERIOR WOOD-FRAMED WALLS (BATT)
- R-6 ROOF AREAS BLOWN OR BATTS
- R-8 VAULTED CEILING / ROOF AREAS BLOWN OR BATTS
- R-30 CANTILEVERS AND FLOOR OVER LIVING AREAS IN GARAGES
- R-38 BASEMENT WALLS FINISH BATTED
- R-9 FLOORS OVER UNCONFINED SPACE (CRAWLSPACE)

- GC TO PROVIDE MANUAL J.D. ANALYSIS CALCULATIONS SHOWING THAT THE BUILDING CONFORMS TO ENERGY CODE.

- WHERE NECESSARY OR AS DIRECTED BY CONTRACTOR, PROVIDE EXTRUDED POLYSTYRENE IN BELL OF LIU (BELL) INSULATION BEHIND, BENEATH OR ADJACENT TO PLUMBING, MECHANICAL AND ELECTRICAL SUPPLIES, RETURNS, AND OTHER DISTRIBUTION LINES AND FUTURES TO INSURE THE MINIMUM INSULATION VALUES ARE STRICTLY ADHERED TO IN ALL LOCATIONS IN ALL ACCESSIBLE OR ENCLOSED AREAS OR AREAS THAT MAY BE ACCESSIBLE OR MAY BE ENCLOSED. PLACE EXTRUDED POLYSTYRENE INSULATION IMMEDIATELY PRIOR TO PLACING THE PLUMBING, MECHANICAL, AND ELECTRICAL RUNS

- INSULATE ALL CANTILEVERED FLOORS WITH BATT INSULATION AND SHEATH THE UNDERSIDE WITH HARDBOARD OVER APPROVED VAPOR BARRIER

FLASHING

WALL FLASHING PER R902:

APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

- EXTERIOR WINDOW/DOOR OPENING
- AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO CORNICES
- UNDER AND AT THE REAR OF MASONRY WALLS OR DETAIL CORNERS AND SELLS
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD OR HARDBOARD/FIBER-CEMENT TRIM
- WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION
- AT WALL AND ROOF INTERSECTIONS
- AT BUILT-IN GUTTERS

SAFETY GLASS

PROVIDE TEMPERED GLASS PER I.R.C. SECTION R904.4 WHEN:

- GLAZING IN ALL FRIED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN 64" OF THE DOOR IN A CLOSED POSITION & WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR/WALKING SURFACE
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANE THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 30 SQUARE FEET
 - BOTTOM EDGE OF GLAZING IS LESS THAN 48" ABOVE THE FLOOR
 - TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING
- ALL GLAZING IN BALCONIES REGARDLESS OF AREA/HEIGHT ABOVE A WALKING SURFACE INCLUDED ARE STRUCTURAL BALLUSTER PANELS AND NONSTRUCTURAL INFILL PANELS
- WITHIN ANY COMPARTMENT CONTAINING HOT TUBS, whirlpools, SAUNAS, STEAM ROOMS, BATHS / SHOWERS WHOSE BOTTOM EDGE OF GLAZING IS LESS THAN 60" AFF
- GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 48" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD
- GLAZING IN WALLS FEACES ADJACENT TO EXTERIOR SWIMMING POOLS, HOT TUBS, SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE WATER'S EDGE

STAIRS

STAIR CONSTRUCTION (IRC-SEC. R302.1):

- 2" X 4" RISERS SHALL NOT TO VARY MORE THAN 3/8"
- 1" TREADS MIN.
- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HORIZONTAL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. -IRC 307.1

- THE TOP OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. STAIRS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1.5 INCHES IN DIAMETER. HANDRAILS SHALL BE SECURED TO WALLS OR OTHER SURFACES BY GRIPPING SURFACES. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 INCH BETWEEN THE WALL AND THE HANDRAIL. -IRC 307.2

- ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE, AND DOORS OPENED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD RAIL (A GUARDRAIL) GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. -IRC 302

- THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 8' MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. -IRC 302.2

- STAIRWAY RISERS SHALL NOT EXCEED 7 1/2 INCHES AND TREAD SHALL NOT BE LESS THAN 10 INCHES IF OPEN RISERS ARE PROVIDED. THE OPENINGS SHALL BE LESS THAN 1" IRC 307.1.1

- LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. -IRC 302.1.2

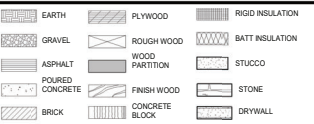
- PROVIDE 1/2" GYPSUM BOARD ON WALLS AND SOFFITS UNDER A STAIRWAY WITH UNENCLOSED ACCESSIBLE SPACE. -IRC 302.1.7

- STAR TREAD NOSING: THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16 INCH (14.29 MM) & NOSING NOT LESS THAN 1/8 INCH (3.18 MM) BUT NOT MORE THAN 1/4 INCHES (6.35 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SLOPERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.53 MM) BETWEEN TWO STORES. INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS BEYOND OF NOSING SHALL NOT EXCEED 1/4 INCH (6.35 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES TO 90 RADIAN FROM THE VERTICAL. -IRC 302.1.5

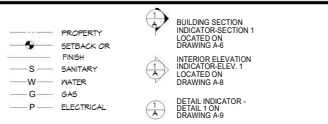
1. A NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 21 INCHES (534 MM).

2. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES (762 MM) OR LESS. NOTE: THIS MEANS THAT CONCRETE STAIRS, WITHOUT NOSINGS, MUST HAVE A TREAD DEPTH OF 11 INCHES.

MATERIALS LEGEND



SYMBOLS LEGEND



SCOPE OF WORK

MARSHALL FIRE HOME RE-BUILD

BUILDING AND SITE

ADDRESS: 953 ST. ANDREWS LN, LOUISVILLE, CO 80027

OWNER: DE VOTO EMLY DONALSON ET AL.

LEGAL DESCRIPTION AND PARCEL INFO: LOT 302 COAL CREEK RANCH PL R36L4 T3 L2SS ELY 224 FT W/L SPLIT SEE ID 849531 02 92

ACCOUNT NUMBER: 15204952

SUBDIVISION: SOUTH LOUISVILLE

LEGAL DESCRIPTION: LOT 302 COAL CREEK RANCH PL R36L4 T3 L2SS ELY 224 FT W/L SPLIT SEE ID 849531 02 92

PARCEL NO.: 0278295007

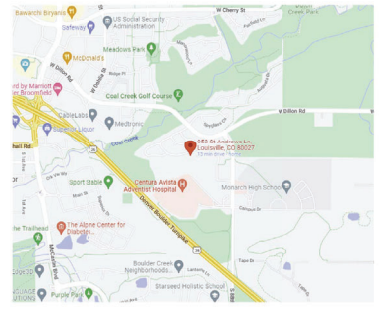
LOT LABEL: SQUARE FEET: 7,130 ACRES: 0.16

ZONING: BOULDER COUNTY P/R PLANNED COMMUNITY RESIDENTIAL

HEIGHT: 2 STORY W/ BASEMENT

BUILDING AREAS: .5F LOWER LEVEL FINISHED: 840 MAIN LEVEL: 1,930 UPPER LEVEL: 1,455

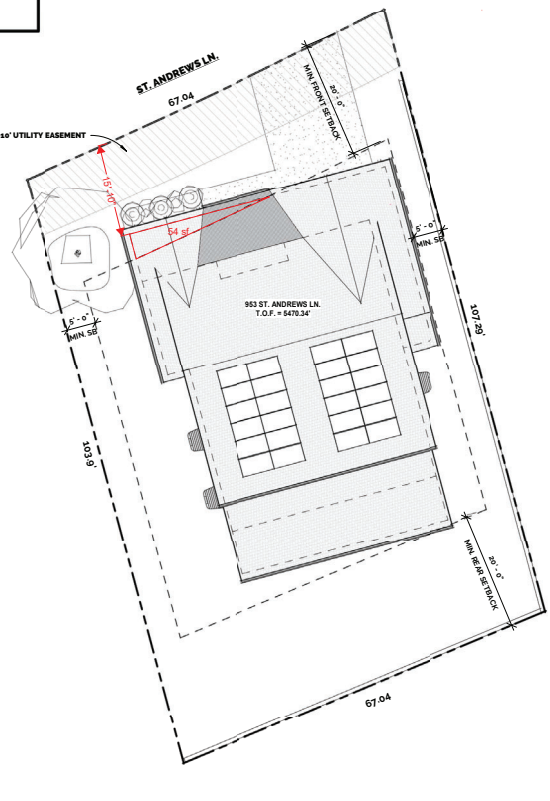
TOTAL FINISHED: 4,245 ABOVE GRADE



1 VICINITY MAP 1"2" = 1'-0"

DE VOTO RESIDENCE

MARSHALL FIRE RESIDUE
953 ST. ANDREWS LN.
LOUISVILLE, CO 80027



2 SITE PLAN 1"8" = 10'-0"



MARSHALL FIRE REBUILD
DeVoto RESIDENCE
953 ST. ANDREWS LN
LOUISVILLE, CO 80027

REVISION

| DATE | ISSUED |
|------|--------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PROJECT: RBT-SOS-2023-003
DATE: 7/18/2023
SHEET: COVER SHEET

A.o.

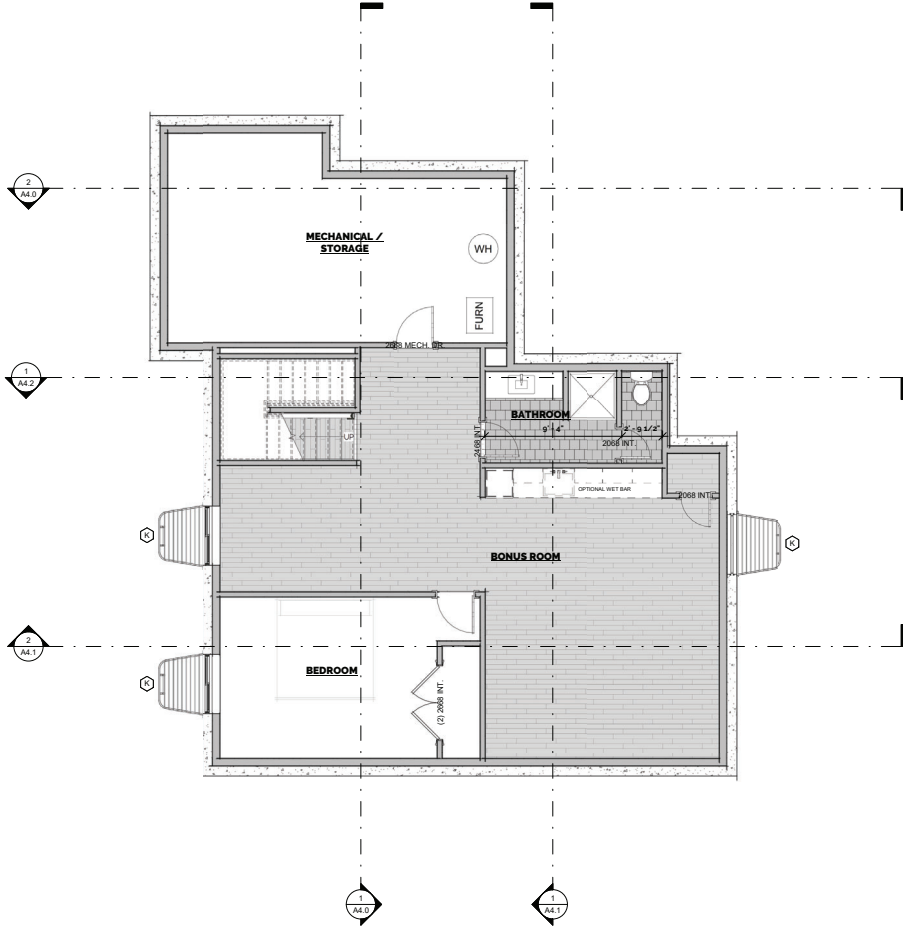
7/19/2023 9:14:30 AM

| OVERALL WINDOW SCHEDULE | | | | |
|-------------------------|--------------------------------|--------------|--------------|-------|
| TYPE MARK | TYPE | WIDTH | HEIGHT | COUNT |
| A | 71-1/2" x 71-1/2" | 5' - 11 1/2" | 5' - 11 1/2" | 4 |
| B | 59-1/2" x 47-1/2" | 4' - 11 1/2" | 3' - 11 1/2" | 3 |
| C | 107-1/2" x 71-1/2" | 8' - 11 1/2" | 5' - 11 1/2" | 4 |
| D | 59-1/2" x 59-1/2" | 4' - 11 1/2" | 4' - 11 1/2" | 2 |
| E | 83-1/2" x 23-1/2" | 6' - 11 1/2" | 1' - 11 1/2" | 2 |
| F | 24-1/2" x 71-1/2" | 2' - 0 1/2" | 5' - 11 1/2" | 2 |
| G | 47-1/2" x 47-1/2" | 3' - 11 1/2" | 3' - 11 1/2" | 1 |
| H | 101-1/2" x 17-1/2" | 8' - 6" | 1' - 6" | 1 |
| I | 47-1/2" x 59-1/2" | 3' - 11 1/2" | 4' - 11 1/2" | 1 |
| K | 4040 SL W WINDOW WELL & LADDER | 4' - 0" | 4' - 0" | 3 |
| L | 28-1/2" x 59-1/2" | 2' - 5 1/2" | 4' - 11 1/2" | 4 |

Grand total: 27

| OVERALL DOOR SCHEDULE | | | | |
|-------------------------------------|--------------|--------------|-------|--|
| CONSTRUCTION TYPE | WIDTH | HEIGHT | COUNT | |
| (2)2680 INT. | 2' - 0" | 6' - 8" | 1 | |
| (2)3080 INT. | 5' - 0" | 8' - 0" | 2 | |
| (2) 2080 INT. | 6' - 0" | 8' - 0" | 2 | |
| (2) 2668 INT. | 4' - 0" | 8' - 0" | 1 | |
| (2) 2668 INT. | 5' - 0" | 6' - 8" | 1 | |
| 18'x8' OVERHEAD DOOR | 18' - 0" | 8' - 0" | 1 | |
| 2068 INT. | 2' - 0" | 6' - 8" | 2 | |
| 2080 INT. | 2' - 0" | 8' - 0" | 3 | |
| 2468 INT. | 2' - 4" | 7' - 0" | 1 | |
| 2480 INT. | 2' - 4" | 8' - 0" | 3 | |
| 2668 INT. | 2' - 6" | 8' - 0" | 1 | |
| 2668 MECH. DR. | 2' - 6" | 8' - 0" | 1 | |
| 2880 INT. | 2' - 6" | 8' - 0" | 6 | |
| 2880 INT. | 2' - 8" | 8' - 0" | 1 | |
| 3080 20min. W/SELF-CLOSER | 2' - 8" | 8' - 0" | 2 | |
| 3080 INT. BARN DOOR | 0" | 0" | 2 | |
| 6080 ENT. SL. GLASS W/ TRANSOM ABV. | 6' - 0" | 8' - 0" | 2 | |
| 8080 SL. GLASS | 7' - 11 1/4" | 7' - 11 1/2" | 1 | |

Grand total: 33



FLOOR PLAN NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION NOT SHOWN OR NOTED ON PLANS (TYP).
- GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. -IRC TABLE E08.4
- SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22" INCH NET CLEAR OPENING. P2708.1.1. ALSO, HINGED SHOWER DOORS SHALL OPEN OUTWARD. P2708.1
- WINDOW WELLS SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 8 SQ FT WITH A MINIMUM DIMENSION OF 36 INCHES. A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44 INCHES DEEP IS REQUIRED. -IRC R310.2
- A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED OR A UTILITY ROOM OR ELECTRICAL PANEL (MUST NOT COVER OBSTRUCT THE VISIBILITY OF CIRCUIT DIRECTORY (PERMANENT) R/WELLS OR INSULATION INSTALLED IN OR ON CEILING, ROOF, WALLS, FOUNDATION, (SLAB BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES (FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS, THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. NOTE: THE LISTING OF THE ELECTRICAL PANEL WILL NOT ALLOW YOU TO DRILL OR MODIFY THE PANEL OR COVER IN ANY WAY TO ACCOMPLISH THIS. -IRC N1101.14
- EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER RESISTIVE EXTERIOR WALL ENVELOPE. PROVIDE WEATHER RESISTIVE BARRIER FLASHING DETAILS FOR WINDOWS, DOOR AND OTHER OPENINGS IN THE BUILDING ENVELOPE. INCLUDE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- PROVIDE FLASHING DETAILS FOR OVER DOORS, WINDOWS, SILLS, AT FOUNDATION, COLUMNS, AND OTHER LOCATIONS REQUIRING FLASHINGS. R703.2
- PROVIDE MIN. 1 (ONE) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON GARAGE SURFACES THAT DEFINE THE HORIZONTAL & VERTICAL SEPARATION BETWEEN THE GARAGE AND HABITABLE SPACES, INCLUDING ALL VERTICAL AND HORIZONTAL STRUCTURAL MEMBERS SUPPORTING THAT SEPARATION. PROVIDE A SEALED, TIGHT FITTING SOLID CORE DOOR OF NOT LESS THAN 20 MINUTES FIRE RATING PER CURRENT I.R.C. AND LOCAL CODES.
- ALL DIMENSIONS ARE GIVEN TO FACE OF STUDS.
- INTERIOR STUD WALLS ARE 24 @ 12" (WIDE & THICKNESS NOT DIMENSIONED), U.N.O. EXTERIOR STUD WALLS ARE 2X6 @ 16" (WIDE), U.N.O.
- PROVIDE 2" MIN. DOOR JAMB CONDITION @ PERPENDICULAR WALL, OR CENTER DOOR ON WALL AS SHOWN (U.N.O.)
- ALL FIRE BLOCKING AND DRAFT STOPPING TO CONFORM WITH CURRENT I.R.C.
- ALL SHOWER STALLS SHALL HAVE A NONABSORBENT SURFACE TO THE HEIGHT OF 72 INCHES AND BE FINISHED IN ACCORDANCE WITH SECTION 702.4 I.R.C.
- TEMPERED GLASS SHALL BE PROVIDED IN FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" AREA OF DOORS, GLAZING LESS THAN 60" ABOVE A WALLING SURFACE THAT IS WITHIN 5 FT OF STAIRS. -IRC R208.
- ALL REQUIRED NONABSORBENT WALL SURFACES SHALL BE INSTALLED OVER WATER RESISTIVE OR: BO, BACKING OR EQUAL.
- KITCHEN COUNTERTOP: 36" H, 4.5" W (BACKSPLASH ON BASE CABINETS, TYP, U.N.O.)
- UPPER WALL CABINETS: 42" H, 12" D CABINETS INDICATED BY DASHED LINE, TYP, U.N.O.
- BATH CABINETS: 36" H, W BACKSPLASH & FULL WIDTH MIRROR ABOVE, TYP, U.N.O.
- ATTIC OPENINGS INTO CONDITIONED SPACE SHALL BE WEATHER STRIPPED AND INSULATED TO THE SAME VALUES AS THE ATTIC INSULATION.
- IN VENTED ATTICS, EAVE BARRIERS SHALL BE INSTALLED. ATTIC ACCESS: MIN. 22" X 30" PER CURRENT I.R.C. AND LOCAL CODES.
- REFRIGERATOR COORD. PLUMBING FOR ICE MAKER AS REQ.
- DRYER VENT: INSTALL PER INTERNATIONAL MECHANICAL CODE AND LOCAL CODES. LENGTH WITH ELBOWS SHALL NOT EXCEED 25 FEET, OR PROVIDE BOOSTER FAN & INSTALL PER MANUFACTURER'S SPEC'S. SEE MECHANICAL DRAWINGS FOR SIZING.
- FLUE: OFF SET FRAMING ABOVE FOR RECD 1" CLR.
- KITCHEN SINK: PROVIDE DISPOSAL, SWITCH POWER. SEE ELECTRICAL PLANS.
- HOSE BIBBS: ALL HOSE BIBBS ARE FREEZE-PROOF TYPE. LOCATION PER C.C., MIN. (2) PER DWELLING.
- PROVIDE 24" SPLASHLOCKS AT ALL HOSE BIBBS.
- PROVIDE G.I. OR FIBERGLASS PAN W/ FLOOR DRAIN UNDER ALL CLOTHES WASHERS & HOT WATER HEATERS. FLOOR DRAIN ONLY WHERE LOCATED ON SLAB ON GRADE.
- PLAN NOTES
- "R & S" INDICATES ROD & SHELF IN CLOSETS, "D" R & S" INDICATES (1) HIGH ROD AND (1) LOW ROD PLUS SHELF. SHELVES ARE 12" DEEP. U.N.O.
- EXTERIOR DECKS AND BALCONIES SHALL CONFORM TO ALL REQUIREMENTS OF I.R.C. 507. SEE STRUCTURAL DRAWINGS.

1 LOWER FLOOR PLAN
1/4" = 1'-0"



MARSHALL FIRE REBUILD
Devoto RESIDENCE
963 ST. ANDREWS LN.
LOUISVILLE, CO 80027

| REVISION | |
|----------|--------|
| DATE | ISSUED |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PROJECT: RBT-SGS-2023-003
DATE: 7/18/2023
SHEET: FLOOR PLAN, SCHED. & NOTES

A1.0

DESIGN CRITERIA

| SIDE | BUILDING SETBACK | | BUILDING HEIGHT |
|------|------------------|---------|-----------------|
| | REAR | FRONT | |
| 5.0' | 20.0' | 20.0' * | 35' MAX. |

* Corner lots one front setback only
 Side yard on street side - 15' min.
 Area of lot 1 from street setback on Dillon Rd. shall be 5' min.
 Front and rear setbacks shall be 15' on lots 1200' deep, 20' on all others, except lots 37, 38, 39, 40, 96, 97, 110 and 118 which have 0' rear setbacks.

LAND USE SUMMARY

LOTS 96-140
 GROSS DENSITY - 4.0 UNITS/ACRE
 TOTAL LOTS - 45
 MEAN LOT SIZE - 2155 S.F.
 MEDIAN LOT SIZE - 8350 S.F.
 MINIMUM LOT SIZE - 6500 S.F.
 MAXIMUM LOT SIZE - 21,500 S.F.

LOTS 1-95
 GROSS DENSITY - 4.4 UNITS/ACRE
 TOTAL LOTS - 95
 MEAN LOT SIZE - 6792 S.F.
 MEDIAN LOT SIZE - 6495 S.F.
 MINIMUM LOT SIZE - 5225 S.F.
 MAXIMUM LOT SIZE - 12,090 S.F.
 OPEN SPACE - 35,435 S.F.



BOULDER COUNTY AGRICULTURAL ZONE

POINT OF BEGINNING

LEGAL DESCRIPTION

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 2 SOUTH, RANGE 19 WEST, OF THE 1ST PRINCIPAL MERIDIAN, BOULDER COUNTY, COLORADO:
 THENCE SOUTH 82°41'31" WEST, A DISTANCE OF 2204.75 FEET;
 THENCE NORTH 78°12'41" WEST, A DISTANCE OF 299.70 FEET;
 THENCE NORTH 57°12'41" WEST, A DISTANCE OF 94.50 FEET;
 THENCE NORTH 07°12'41" WEST, A DISTANCE OF 10.00 FEET;
 THENCE NORTH 52°41'13" EAST, A DISTANCE OF 607.20 FEET;
 THENCE NORTH 52°41'13" EAST, A DISTANCE OF 548.00 FEET TO A NON-TANGENT POINT OF CURVATURE;
 THENCE 142.10 FEET ALONG A CURVE TO THE LEFT HAVING A DELTA OF 83°42'29", A RADIUS OF 215.00 FEET, AND A LONG CHORD WHICH BEARS NORTH 62°41'13" EAST, A DISTANCE OF 215.00 FEET;
 THENCE NORTH 05°12'15" EAST, A DISTANCE OF 420.20 FEET;
 THENCE SOUTH 45°18'55" EAST, A DISTANCE OF 212.50 FEET TO A TANGENT POINT OF CURVATURE;
 THENCE 450.40 FEET ALONG A CURVE TO THE LEFT, HAVING A DELTA OF 37°04'52", A RADIUS OF 440.00 FEET, AND A LONG CHORD WHICH BEARS SOUTH 62°41'13" EAST, A DISTANCE OF 442.10 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT TRACT OF LAND RECORDED IN A DEED RECORDED IN FILE 191, REC'DITION NO. 200521;
 THENCE ALONG SAID SOUTHERLY BOUNDARY THE FOLLOWING FOUR COURSES:
 THENCE SOUTH 52°41'13" EAST, A DISTANCE OF 29.40 FEET;
 THENCE SOUTH 52°41'13" EAST, A DISTANCE OF 100.30 FEET;
 THENCE NORTH 82°41'13" WEST, A DISTANCE OF 21.40 FEET;
 THENCE SOUTH 45°18'55" EAST, A DISTANCE OF 82.71 FEET;
 THENCE SOUTH 14°21'10" EAST, A DISTANCE OF 72.45 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THAT TRACT OF LAND RECORDED IN A DEED RECORDED IN BOOK 111 ON PAGE 212;
 THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING FIVE COURSES:
 THENCE SOUTH 62°41'13" WEST, A DISTANCE OF 65.58 FEET;
 THENCE SOUTH 62°41'13" WEST, A DISTANCE OF 15.00 FEET;
 THENCE SOUTH 14°21'10" EAST, A DISTANCE OF 14.50 FEET;
 THENCE SOUTH 14°21'10" EAST, A DISTANCE OF 10.00 FEET;
 THENCE SOUTH 38°12'40" EAST, A DISTANCE OF 229.50 FEET;
 THENCE SOUTH 38°12'40" EAST, A DISTANCE OF 32.00 FEET;
 THENCE SOUTH 62°41'13" WEST, A DISTANCE OF 215.00 FEET;
 THENCE SOUTH 62°41'13" WEST, A DISTANCE OF 18.00 FEET;
 THENCE SOUTH 52°41'13" EAST, A DISTANCE OF 34.50 FEET;
 THENCE SOUTH 45°18'55" EAST, A DISTANCE OF 21.20 FEET TO THE EAST LINE OF THE NORTHERLY QUARTER OF THE NORTHERLY QUARTER OF SAID SECTION 35;
 THENCE SOUTH 02°07'20" WEST, A DISTANCE OF 29.50 FEET TO THE POINT OF BEGINNING, CONTAINING 32.79 ACRES, MORE OR LESS.



NOTE: 20' IRRIGATION EASEMENT RESTRICTIONS FOR LOTS 49, 65, 67-71, 74-76, 127-140

- THE COST FOR ANY DAMAGES TO THE IRRIGATION FACILITIES LOCATED WITHIN THE 20' EASEMENT, EXCEPT ANY DAMAGES RESULTING FROM NORMAL MAINTENANCE AND OPERATION BY THE OWNER OF SUCH FACILITIES, SHALL BE THE RESPONSIBILITY OF THE LOT OWNER.
- THE OWNER OF THE IRRIGATION FACILITIES HAS THE RIGHT TO ACCESS, REPAIR, REPLACE AND MAINTAIN THE IRRIGATION FACILITIES WITHIN THE EASEMENT, AND PROPERTY DAMAGE INCURRED BY NORMAL, REASONABLE MAINTENANCE PROCEDURES, AND THE EASEMENT SHALL NOT BE THE RESPONSIBILITY OF THE IRRIGATION FACILITIES OWNER.
- THE OWNER OF THE IRRIGATION FACILITIES SHALL NOTIFY THE PROPERTY OWNERS BEFORE ENTERING THE EASEMENT FOR REPAIR, REPLACEMENT OR MAINTENANCE.
- THE APPROPRIATE LOCATION OF THE IRRIGATION FACILITIES WITHIN THE EASEMENT ARE SHOWN ON THE 20'-WIDE STRIPINGS AND ARE AVAILABLE FOR REVIEW AT THE CITY OF LOUISVILLE.

Coal Creek Ranch

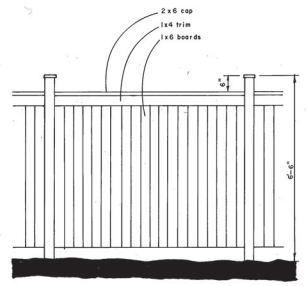
FINAL PLANNED UNIT DEVELOPMENT

FILING NO. 3

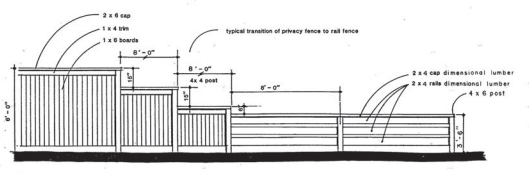
PLANNING COMMISSION CERTIFICATE
 STATE OF COLORADO
 COUNTY OF HOLLAND
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 2:05 P.M. ON FEBRUARY 19, 1990, AND IS IN FULL COMPLIANCE WITH THE PLANNING COMMISSION RESOLUTION NO. 1990-02-001, ADOPTED ON FEBRUARY 15, 1990.
 Charles Horton
 RECORDER

CITY COUNCIL CERTIFICATE
 APPROVED THIS 6TH DAY OF FEB. 90 BY THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 1990-02-001.
 Roman Thomas
 MAYOR

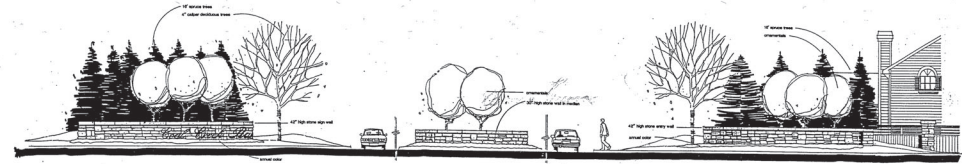
NOTE:
 UTILITY EASEMENTS FOR ELECTRIC, GAS, PHONE AND CABLE TV SHALL BE 8' ALONG FRONT OF ALL LOTS.



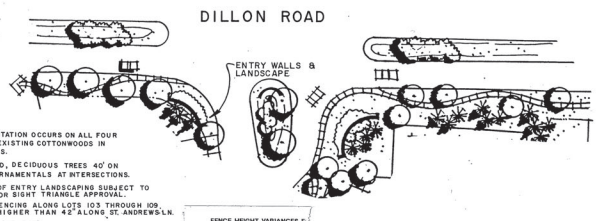
PERIMETER FENCE perimeter fencing to be installed by holder according to development platting
Perimeter fence to be used where single family detached lots occur adjacent to Dillon Road



INTERIOR & RAIL FENCE interior fencing by homeowner
Interior fence to occur on A.C. side and rear yards not adjacent to golf courses.
Rail fence to occur adjacent golf course including outlier A.

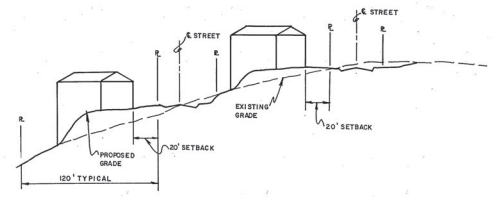


DILLON ROAD ENTRY
DILLON RD. ENTRY, ENTRY DETAIL, ENTRY WALL DETAIL AND TYPICAL STREET SECTIONS ARE SUBJECT TO FUTURE REVIEW AT TIME ENGINEERING PLANS ARE SUBMITTED FOR REVIEW/ACCEPTANCE

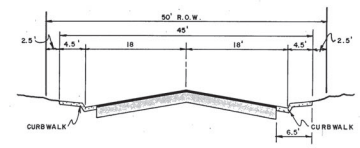


ENTRY DETAIL

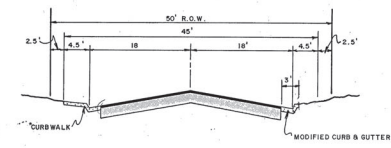
- NOTE:**
- 1.) ENTRY MONUMENTATION OCCURS ON ALL FOUR CORNERS WITH EXISTING COTONWOODS IN CENTER ISLANDS.
 - 2.) LOW TURF MOUND, DECIDUOUS TREES 40' ON CENTER AND ORNAMENTALS AT INTERSECTIONS.
 - 3.) FINAL DETAILS OF ENTRY LANDSCAPE SUBJECT TO CITY REVIEW FOR SIGHT TRIANGLE APPROVAL.
 - 4.) REAR YARD FENCING ALONG LOTS 103, THROUGH 109, SHALL BE NO HIGHER THAN 4'5" ALONG ST. ANDREW'S LN.
 - 5.) ABOVE ITEMS SUBJECT TO REVIEW AT TIME ENGINEERING PLANS ARE SUBMITTED FOR REVIEW/ACCEPTANCE



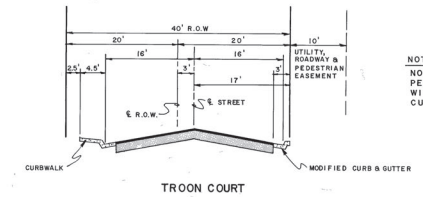
**SECTION A-A
TYPICAL GRADING PLAN**



**SAINT ANDREWS LANE
MUIRFIELD COURT
(FOR ILLUSTRATIVE PURPOSE ONLY)**

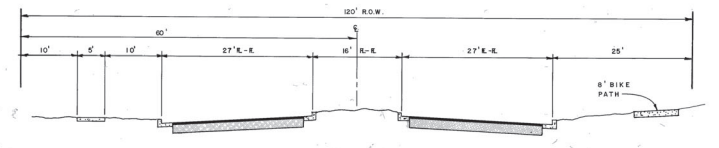


**MUIRFIELD CIRCLE
TURNBERRY CIRCLE**

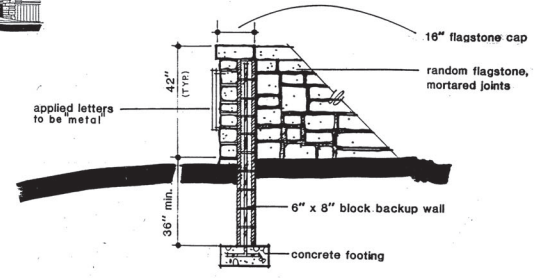


TROON COURT

NOTE:
NO VALVE BOX, UTILITY PEDESTAL SHALL BE WITHIN 6' BACK OF CURB.



**FUTURE DILLON ROAD
(FOR ILLUSTRATIVE PURPOSE ONLY)
TYPICAL STREET SECTIONS**



ENTRY WALL DETAIL

Coal Creek Ranch
PRELIMINARY PLANNED UNIT DEVELOPMENT
FLILING NO. 3
DETAIL SHEET

HURST & ASSOCIATES, INC.
CONSULTING ENGINEERS

SCALE: NO SCALE
DRAWN: J.W.J.
CHECKED: J.R.L.
APPROVED: S.E.A.

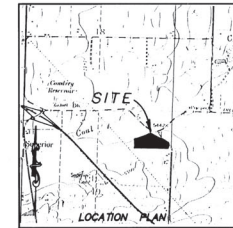
855 Pils. St., Suite 21
Hudson, Colorado 80633 (303) 947-9199

JOB NO. 2020-4 DATE 7/19/20 SHEET 2 OF 2

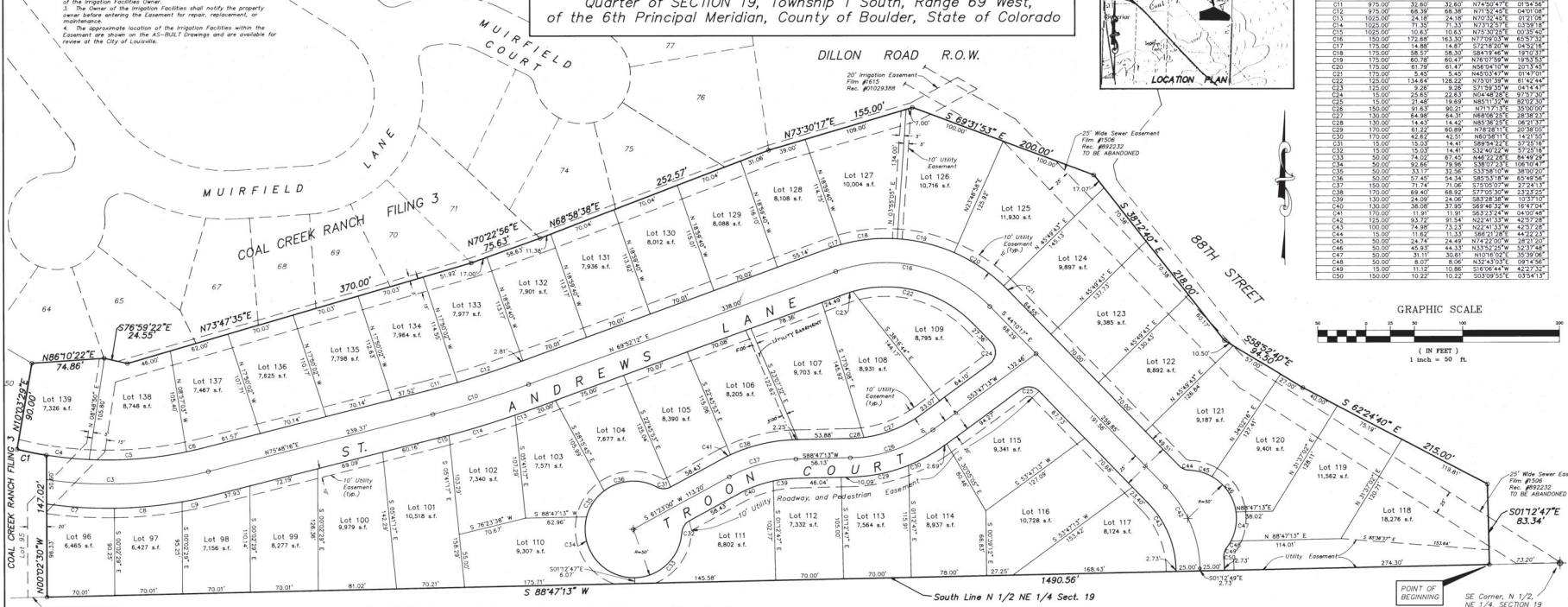
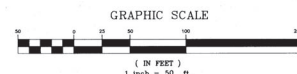
NOTE:
 RE: Irrigation Easement Restrictions for Lots 126-139:
 1. The cost of any damages to the irrigation facilities located within the 20' Easement, except any damages resulting from normal maintenance and operation by the owner of such facilities, shall be the responsibility of the Lot Owner.
 2. The owner of the irrigation facilities has the right to Access, Right of Way and maintain the irrigation facilities within the Easement. Any Property Damage incurred by normal, reasonable maintenance procedures within the easement shall not be the responsibility of the irrigation facilities owner.
 3. The Owner of the irrigation facilities shall notify the property owner before entering the Easement for repair, replacement, or maintenance.
 4. The approximate location of the irrigation facilities within the Easement are shown on the A-S-B-I-T Drawings and are available for review at the City of Louisville.

COAL CREEK RANCH FILING NO. 3 RE PLAT "A" (Lots 96 - 140)

A Subdivision of a Part of the North Half of the Northeast Quarter of SECTION 19, Township 1 South, Range 69 West, of the 6th Principal Meridian, County of Boulder, State of Colorado



| CURVE | RADIUS | LENGTH | CHORD | BEARING | DELTA |
|-------|---------|--------|--------|------------|-------------|
| C1 | 395.00 | 208.87 | 208.87 | N79°13'37" | 042°00'00" |
| C2 | 420.00 | 208.87 | 208.87 | S89°34'44" | 042°00'00" |
| C3 | 395.00 | 44.15 | 44.15 | S89°34'44" | 086°17'24" |
| C4 | 395.00 | 103.60 | 103.60 | S89°34'44" | 184°17'24" |
| C5 | 395.00 | 167.37 | 167.37 | S89°34'44" | 282°17'24" |
| C6 | 445.00 | 71.35 | 71.35 | N79°13'37" | 090°00'00" |
| C7 | 445.00 | 142.70 | 142.70 | N79°13'37" | 180°00'00" |
| C8 | 445.00 | 214.05 | 214.05 | N79°13'37" | 270°00'00" |
| C9 | 445.00 | 285.40 | 285.40 | N79°13'37" | 360°00'00" |
| C10 | 1000.00 | 103.58 | 103.58 | N72°01'34" | 090°00'00" |
| C11 | 919.00 | 31.60 | 31.60 | N72°01'34" | 090°00'00" |
| C12 | 975.00 | 88.39 | 88.39 | N71°51'45" | 040°00'00" |
| C13 | 1025.00 | 24.18 | 24.18 | N71°51'45" | 039°17'24" |
| C14 | 1025.00 | 71.35 | 71.35 | N71°51'45" | 039°17'24" |
| C15 | 1025.00 | 138.53 | 138.53 | N71°51'45" | 039°17'24" |
| C16 | 150.00 | 172.88 | 163.30 | N77°09'03" | 059°17'24" |
| C17 | 175.00 | 14.88 | 14.88 | S72°19'58" | 049°17'24" |
| C18 | 175.00 | 88.37 | 88.37 | S72°19'58" | 049°17'24" |
| C19 | 175.00 | 162.76 | 162.76 | S72°19'58" | 049°17'24" |
| C20 | 175.00 | 237.15 | 237.15 | S72°19'58" | 049°17'24" |
| C21 | 175.00 | 311.54 | 311.54 | S72°19'58" | 049°17'24" |
| C22 | 150.00 | 134.84 | 128.22 | N79°01'30" | 0142°44'48" |
| C23 | 150.00 | 27.96 | 27.96 | N79°01'30" | 0142°44'48" |
| C24 | 150.00 | 25.83 | 22.83 | N64°48'28" | 037°00'00" |
| C25 | 150.00 | 44.15 | 44.15 | N64°48'28" | 037°00'00" |
| C26 | 150.00 | 88.30 | 88.30 | N64°48'28" | 037°00'00" |
| C27 | 150.00 | 132.45 | 132.45 | N64°48'28" | 037°00'00" |
| C28 | 150.00 | 176.60 | 176.60 | N64°48'28" | 037°00'00" |
| C29 | 150.00 | 220.75 | 220.75 | N64°48'28" | 037°00'00" |
| C30 | 150.00 | 264.90 | 264.90 | N64°48'28" | 037°00'00" |
| C31 | 150.00 | 309.05 | 309.05 | N64°48'28" | 037°00'00" |
| C32 | 150.00 | 353.20 | 353.20 | N64°48'28" | 037°00'00" |
| C33 | 150.00 | 397.35 | 397.35 | N64°48'28" | 037°00'00" |
| C34 | 50.00 | 57.45 | 54.34 | S85°53'50" | 054°00'00" |
| C35 | 50.00 | 71.74 | 71.74 | S85°53'50" | 054°00'00" |
| C36 | 50.00 | 86.03 | 86.03 | S85°53'50" | 054°00'00" |
| C37 | 50.00 | 100.32 | 100.32 | S85°53'50" | 054°00'00" |
| C38 | 170.00 | 89.40 | 88.92 | S77°02'50" | 033°00'00" |
| C39 | 130.00 | 24.09 | 24.09 | S89°34'44" | 039°17'24" |
| C40 | 130.00 | 38.08 | 37.95 | S89°34'44" | 039°17'24" |
| C41 | 130.00 | 52.07 | 51.94 | S89°34'44" | 039°17'24" |
| C42 | 130.00 | 66.06 | 65.93 | S89°34'44" | 039°17'24" |
| C43 | 130.00 | 80.05 | 79.92 | S89°34'44" | 039°17'24" |
| C44 | 130.00 | 94.04 | 93.91 | S89°34'44" | 039°17'24" |
| C45 | 130.00 | 108.03 | 107.90 | S89°34'44" | 039°17'24" |
| C46 | 50.00 | 45.33 | 44.33 | N33°52'25" | 037°00'00" |
| C47 | 150.00 | 31.11 | 30.81 | N33°52'25" | 037°00'00" |
| C48 | 50.00 | 8.07 | 8.06 | N33°52'25" | 037°00'00" |
| C49 | 150.00 | 11.32 | 10.81 | N33°52'25" | 037°00'00" |
| C50 | 50.00 | 10.22 | 10.22 | S03°09'55" | 034°17'24" |



DEED: KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED BEING THE OWNER OF A TRACT OF LAND IN SECTION 19, TOWNSHIP 1 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF BOULDER, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 19, THENCE SOUTH 88°47'13" WEST 73'00" ALONG THE SOUTHERLY LINE OF THE NORTH HALF OF SAID SECTION 19 TO THE POINT OF BEGINNING; THENCE SOUTH 88°47'13" WEST 140.56 FEET; THENCE NORTH 02°52'30" EAST 140.02 FEET TO A NON-TANGENT POINT OF CURVATURE REPLACEMENT FOR ALL SERVICES INCLUDING REMOVING THE GENERALITY OF THE FOREGOING, TELEPHONE AND ELECTRIC LINES, POWER POLES AND UNDERGROUND CABLES, GAS PIPING, WATER LINES, SANITARY SEWER LINES, STREET LIGHTS, COLLECTORS, HYDRANTS, DRAINAGE UTILITY AND OTHER APPURTENANCES THEREON, IT BEING EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INCURRED IN CONSTRUCTING AND INSTALLING SANITARY SEWER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, STORM SEWERS AND DRAINAGE, STREET LIGHTING, DRAINAGE AND LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREOF WHICH ARE APPROVED BY THE CITY OF LOUISVILLE, COLORADO; AND SUCH WORKS SHALL NOT BE PAID BY THE CITY OF LOUISVILLE, COLORADO; AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED BEING ACCEPTED BY THE CITY OF LOUISVILLE, COLORADO, SHALL BECOME THE SOLE PROPERTY OF SAID CITY OF LOUISVILLE, COLORADO, EXCEPT ITEMS OWNED BY MUNICIPALLY FRANCHISED UTILITIES AND/OR CITY TELEPHONE AND/OR TELEGRAPH COMPANY WHICH WHEN CONSTRUCTED OR INSTALLED, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF LOUISVILLE, COLORADO.

HE HAS LAID OUT, SUBDIVIDED AND PLATTED SAID LAND AS PER DRAWING HEREON CONTAINED UNDER THE NAME AND STYLE OF COAL CREEK RANCH FILING NO. 3, RE PLAT "A", A SUBDIVISION OF A PART OF THE CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, AND THESE PREMISES DO HEREBY BECOME THE PROPERTY OF THE CITY OF LOUISVILLE, COLORADO, FOR THE PUBLIC USE THEREOF AND DOES FURTHER DEDICATE TO THE USE OF THE CITY OF LOUISVILLE, COLORADO, ALL MUNICIPAL CHASES AND/OR MANICALLY FRANCHISED UTILITIES AND SERVICES THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE AND SHALL BECOME THE PROPERTY OF OR MAY FOR THE CONSTRUCTION, INSTALLATION, OPERATION, MAINTENANCE, REPAIR AND COSTS INCURRED IN CONSTRUCTING AND INSTALLING SANITARY SEWER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, STORM SEWERS AND DRAINAGE, STREET LIGHTING, DRAINAGE AND LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREOF WHICH ARE APPROVED BY THE CITY OF LOUISVILLE, COLORADO; AND SUCH WORKS SHALL NOT BE PAID BY THE CITY OF LOUISVILLE, COLORADO; AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED BEING ACCEPTED BY THE CITY OF LOUISVILLE, COLORADO, SHALL BECOME THE SOLE PROPERTY OF SAID CITY OF LOUISVILLE, COLORADO, EXCEPT ITEMS OWNED BY MUNICIPALLY FRANCHISED UTILITIES AND/OR CITY TELEPHONE AND/OR TELEGRAPH COMPANY WHICH WHEN CONSTRUCTED OR INSTALLED, SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL NOT BECOME THE PROPERTY OF THE CITY OF LOUISVILLE, COLORADO.

EXECUTED THIS 15th DAY OF February 23, 1991, at Louisville, Colorado.
 I, James J. Padilla, Mayor of the City of Louisville, Colorado, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in the files of the City of Louisville, Colorado.
 I, James J. Padilla, Mayor of the City of Louisville, Colorado, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in the files of the City of Louisville, Colorado.
 I, James J. Padilla, Mayor of the City of Louisville, Colorado, do hereby certify that the foregoing is a true and correct copy of the original as the same appears in the files of the City of Louisville, Colorado.

CLERK AND RECORDER CERTIFICATE
 COUNTY OF BOULDER
 STATE OF COLORADO
 I, Charlotte Housen, Clerk and Recorder of the County of Boulder, State of Colorado, do hereby certify that this instrument was filed in my office at 11:31 O'CLOCK P.M. this 15th day of February, 1991, and is duly recorded in PLAT FILE NO. 155-9 FOR \$10.00 FEE.
 REC'D
 Charlotte Housen
 CLERK AND RECORDER

PLANNING COMMISSION CERTIFICATE
 APPROVED THIS 8th DAY OF February, 1991, BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION NO. 91-11 BY THE PLANNING CHAIRMAN, Thomas A. Aballe.
 Thomas A. Aballe
 CHAIRMAN

SURVEYOR'S CERTIFICATE
 I, ROBERT ORTHMAN, A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS PLAT OF COAL CREEK RANCH FILING 3 RE PLAT "A", TRULY & CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE UNDER MY SUPERVISION AND HAS BEEN PERFORMED IN ACCORDANCE WITH COLORADO STATE LAW.
 ROBERT ORTHMAN
 COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 15315
 DATE: February 23, 1991

CITY COUNCIL CERTIFICATE
 APPROVED THIS 23rd DAY OF February, 1991, BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO, RESOLUTION NO. 91-11 SERIES 11.
 Robert Orthon
 CITY CLERK

FINAL PLAT
COAL CREEK RANCH FILING NO. 3
RE PLAT "A"
 (Lots 96 - 139)

SCALE: 1" = 50'
 NORTH: AS SHOWN
 DRAWN: ASH/CAJ
 FILE NO. 155-9
 FILE NAME 20020489

HURST & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 300 10th Street, Suite 100
 Boulder, Colorado 80502
 PHONE: 440-2489
 FAX: 440-2499

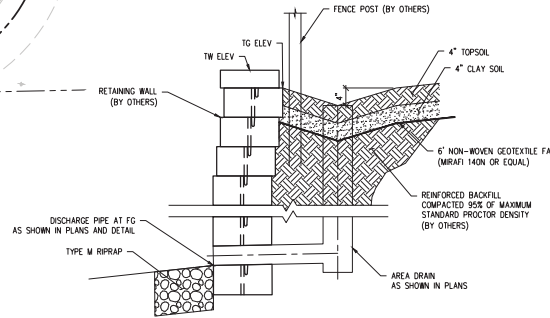
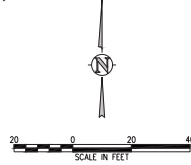
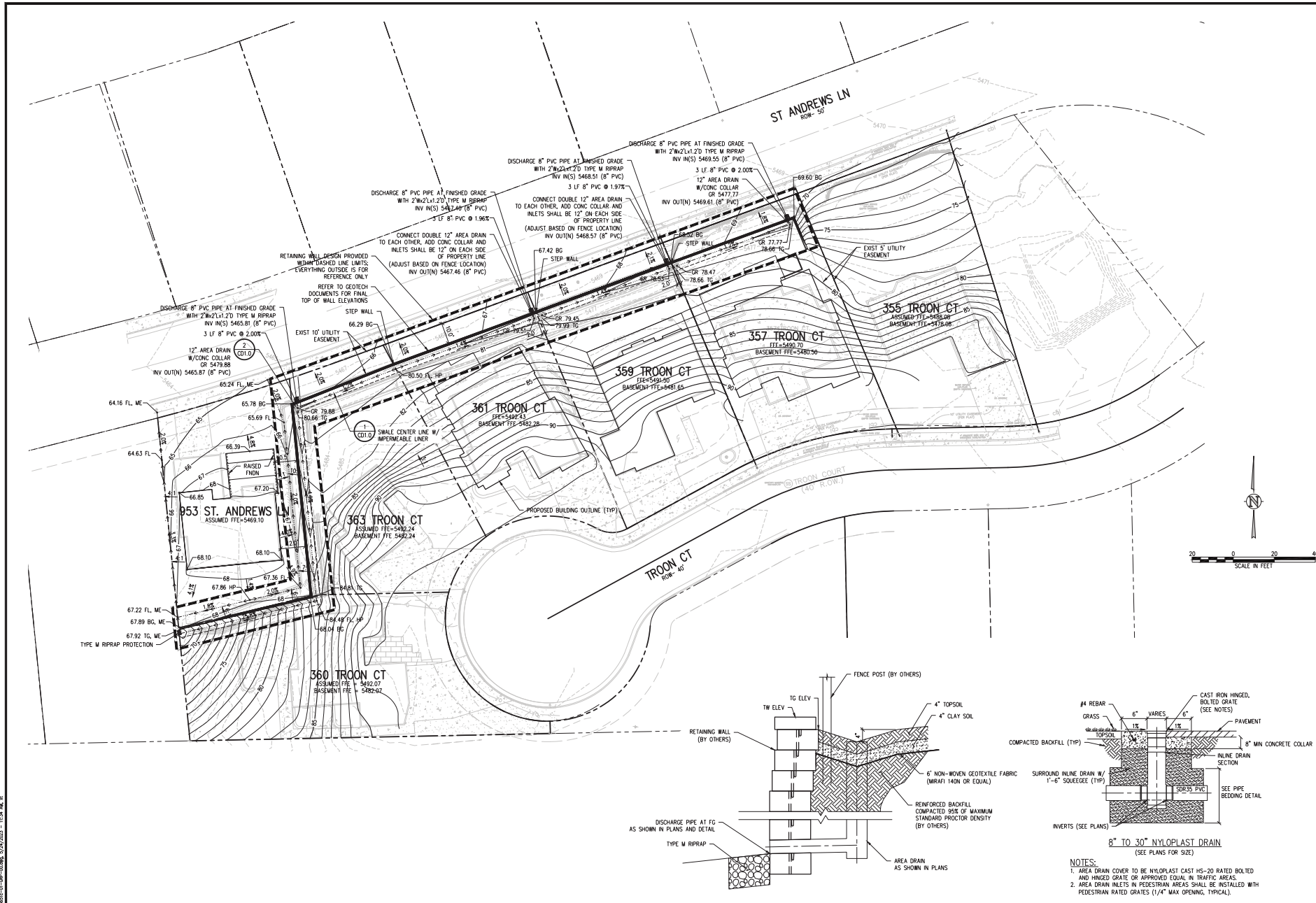
JOB NO. 2002-12756/2002SERV1.1 OF 1

DRAWING NUMBER

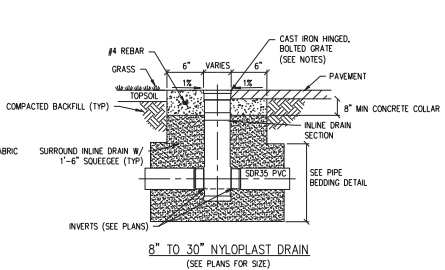
94909518 04/01/91 03:19 PM REAL ESTATE RECORDS
 F1627 CHARLOTTE HOUSTON BOULDER CITY CO RECORDER



JVA, Inc. 1118 Spruce Street
 Boulder, CO 80501 303.444.1951
 www.jva.com
 Boulder • Fort Collins • Winter Park
 Greenwood Village • Denver



SWALE WITH IMPERMEABLE LINER (1)
 NTS C1.0



AREA DRAIN DETAIL (2)
 NTS C1.0

- NOTES:
1. AREA DRAIN COVER TO BE NYLOPLAST CAST HS-20 RATED BOLTED AND HINGED GRATE OR APPROVED EQUAL IN TRAFFIC AREAS.
 2. AREA DRAIN INLETS IN PEDESTRIAN AREAS SHALL BE INSTALLED WITH PEDESTRIAN RATED GRATES (1/4" MAX OPENING, TYPICAL).

DESIGNED BY: SWW
 DRAWN BY: SWW
 CHECKED BY: XTC/CFG
 JOB #: 3851c
 DATE: MAY 24, 2023
 © JVA, INC.

COAL CREEK RANCH WALLS
 TROON COURT
 LOUISVILLE, CO 80027
 GRADING AND DRAINAGE PLAN

SHEET NO.
C1.0

2. JVA\Projects\2023\05\24\2023 - 11.14.23 - 11.14.23

NO. DATE REVISION DRAWN

REVISION DESCRIPTION

Ellie Hassan

From: Lysle Dirrim <lysledirrim@gmail.com>
Sent: Wednesday, September 27, 2023 7:36 AM
To: Planning
Subject: RE: 953 St Andrews Lane - Variance Request

Categories: Public Correspondence

You don't often get email from lysledirrim@gmail.com. [Learn why this is important](#)

I and my wife are owners of 983 St. Andre3ws Lane in Louisville.

We encourage the Board of Adjustment to approve the front porch variance request for 953 St. Andrews Lane.

==CAUTION: EXTERNAL EMAIL==

This email originated from outside the City of Louisville's email environment. Do not click links or open attachments unless you validate the sender and know the content is safe. Please contact IT if you believe this email is suspicious.

Subject **Fwd: House plans (1 of 2)**
From Emily Donaldson De Voto <emilymamaboulder@gmail.com>
To De Voto Rob <rdv@a-jour-net.com>
Date 2023-07-25 19:39



Can you print off these 2 emails and scan then send them back to me? I'm trying to have a clean email chain to attach to our variance request.

Thanks Love,
me

Best Regards,

Emily Donaldson De Voto, PhD

Note: Due to the nature of electronic communication, I cannot assure you that e-mail is as secure as a face-to-face or phone conversation. Please keep this in mind when communicating with me over the Internet. Any information, including protected health information (PHI), transmitted in this e-mail is intended only for the person or entity to which it is addressed and may contain information that is privileged, confidential, and or exempt from disclosure under applicable Federal or State law. Any review, retransmission, dissemination, or other use of or taking of any action in reliance upon, protected health information (PHI) by persons or entities other than the intended recipient is prohibited.

Begin forwarded message:

From: Timothy Lefoley <tlefoley@yahoo.com>
Subject: Re: House plans
Date: May 23, 2023 at 10:27:05 PM EDT
To: Emily Donaldson De Voto <emilymamaboulder@gmail.com>
Cc: De Voto Rob <rdv@a-jour-net.com>

Yes, looks OK with us. Go for it.
Grateful to have you back as neighbors.

On Tuesday, May 23, 2023 at 02:58:52 PM MDT, Emily Donaldson De Voto <emilymamaboulder@gmail.com> wrote:

Hi Tim,

Your house is looking close to complete. When do you move in?

We are finalizing house plans. Lisa Ritchie, with the City is looking to help us get setback modification approval before she leaves her position.

She asked us to ask you if you were ok with the rough plans below, specifically regarding the northwest corner of our house being less than the 20' setback. Lisa is going to go to bat with the City for us on this setback modification, but it helps if we have your ok.

Please email us back with your a-ok, if appropriate.

Emily & Rob.

Best Regards,

Emily Donaldson De Voto, PhD

Subject **Fwd: House plans (2 of 2)**
From Emily Donaldson De Voto <emilymamaboulder@gmail.com>
To De Voto Rob <rdv@a-jour-net.com>
Date 2023-07-25 19:40



Best Regards,

Emily Donaldson De Voto, PhD

Note: Due to the nature of electronic communication, I cannot assure you that e-mail is as secure as a face-to-face or phone conversation. Please keep this in mind when communicating with me over the Internet. Any information, including protected health information (PHI), transmitted in this e-mail is intended only for the person or entity to which it is addressed and may contain information that is privileged, confidential, and or exempt from disclosure under applicable Federal or State law. Any review, retransmission, dissemination, or other use of or taking of any action in reliance upon, protected health information (PHI) by persons or entities other than the intended recipient is prohibited.

Begin forwarded message:

From: Timothy Lefoley <tlefoley@yahoo.com>
Subject: Re: House plans
Date: May 23, 2023 at 10:27:05 PM EDT
To: Emily Donaldson De Voto <emilymamaboulder@gmail.com>
Cc: De Voto Rob <rdv@a-jour-net.com>

Yes, looks OK with us. Go for it.
Grateful to have you back as neighbors.

On Tuesday, May 23, 2023 at 02:58:52 PM MDT, Emily Donaldson De Voto <emilymamaboulder@gmail.com> wrote:

Hi Tim,

Your house is looking close to complete. When do you move in?

We are finalizing house plans. Lisa Ritchie, with the City is looking to help us get setback modification approval before she leaves her position.

She asked us to ask you if you were ok with the rough plans below, specifically regarding the northwest corner of our house being less than the 20' setback. Lisa is going to go to bat with the City for us on this setback modification, but it helps if we have your ok.

Please email us back with your a-ok, if appropriate.

Emily & Rob.

Best Regards,

Emily Donaldson De Voto, PhD

Note: Due to the nature of electronic communication, I cannot assure you that e-mail is as secure as a face-to-face or phone conversation. Please keep this in mind when communicating with me over the Internet. Any information,