

# ASCENT COMMUNITY CHURCH/RELISH

S ½ SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



## GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PLANS APPROVED BY PROJECT SITE'S MUNICIPAL JURISDICTION, THE CITY OF LOUISVILLE.
2. BASE INFORMATION PROVIDED BY ENGINEER AND SHOWN AS INFORMATION ONLY. REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS, AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, UTILITY DRAWINGS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL.
3. THE LIMITS OF WORK LINE IS SHOWN ON PLAN AS REFERENCE ONLY AND OCCURS AT BACK OF CURB, EDGE OF ROAD, FACE OF BUILDING, RIGHT OF WAY, OR SITE PROPERTY LINE UNLESS OTHERWISE DESIGNATED.
4. VERIFY EXISTING SITE CONDITIONS INCLUDING, WALLS, VEGETATION, FENCES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS, AND OTHER OBSTRUCTIONS THAT MAY AFFECT THE PROGRESS OF WORK.
5. LOCATE UTILITIES AND MAINTAIN THEIR LOCATION DURING ALL PHASES OF WORK. DO NOT DAMAGE UTILITY LINES/STRUCTURES. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE STARTING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. RESTORATION OF UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
7. ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
8. CONSTRUCTION INSTALLATION, MATERIALS, TESTING AND INSPECTION SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
9. TAKE NECESSARY STEPS TO PROTECT AND MAINTAIN ALL FINISHED WORK FOR THE DURATION OF THE CONTRACT UNTIL FINAL ACCEPTANCE, ANY DAMAGE BROUGHT TO PLANT MATERIAL DUE TO CONTRACTOR NEGLECT SHALL BE REPAIRED OR REPLACED AT CONTRACTOR EXPENSE.
10. THESE DRAWINGS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING TO PROTECT PERSONS AND PROPERTY. DIRECT AND IMPLEMENT SAFETY OPERATIONS AND PROCEDURES TO PROTECT THE OWNER, OTHER CONTRACTORS, THE PUBLIC, AND OTHER FOR THE DURATION OF THE CONTRACT.
11. NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
12. OBTAIN NECESSARY PERMITS FROM ALL JURISDICTIONS AS REQUIRED TO CONSTRUCT THE WORK OF THIS PROJECT.
13. THE WORK OF THIS CONTRACT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL AREAS HAVE BEEN CLEANED OF ALL DIRT AND DEBRIS AND ALL DAMAGED ITEMS ARE REPAIRED.

## GRADING NOTES

1. EMPLOY A LICENSED SURVEYOR TO ESTABLISH ALL GRADE AND WORK LINES. HAVE OWNERS REPRESENTATIVE FIELD REVIEW AND APPROVE GRADE STAKES PRIOR TO FINAL GRADING.
2. ALL PROPOSED GRADES SHALL MEET AND BLEND WITH EXISTING GRADES AT PROJECT LIMITS AND AT CURBS SIDEWALKS AND ROADWAYS. EXISTING ELEVATIONS INDICATED ON PLANS SHALL BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
3. EROSION CONTROL- SEE CIVIL ENGINEERING DRAWINGS FOR CONTRACTOR RESPONSIBILITIES, MEANS, AND METHODS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ROUNDING OFF ALL SHARP RIDGES EXISTING ON SITE WHETHER OR NOT SUCH CONDITIONS ARE INDICATED ON PLANS.
5. CONTRACTOR SHALL NOT PROCEED WITH CONSTRUCTION WHEN IT BECOMES EVIDENT THAT UNFORSEEN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE FOR DECISION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
6. ALL LANDSCAPE GRADES ARE BASED UPON ELEVATIONS SHOWN ON THE CIVIL ENGINEER DRAWINGS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL GRADING OPERATIONS.
8. MAINTAIN POSITIVE DRAINAGE, UNLESS SPECIFICALLY DESIGNED FOR PONDING, AT ALL TIMES. MINIMUM 2% SLOPE IN LANDSCAPED AREAS. REFER TO CIVIL ENGINEERS DRAWINGS FOR DRAINAGE STRUCTURE LOCATIONS AND DETAILS.
9. ALL WALKS SHALL HAVE A MINIMUM 1.25% CROSS SLOPE TO ENSURE POSITIVE DRAINAGE OFF OF TRAVELED SURFACE. MAXIMUM CROSS SLOPE ON WALKWAYS ARE DESIGNED AND DRAWN AT A MAXIMUM 1.8% SLOPE IN ORDER TO ENSURE THE FINISHED CROSS SLOPE IS LESS THAN 2% PER ADA GUIDELINES. NO CROSS SLOPES ON PAVED SURFACES ARE TO BE GREATER THAN 2%.
10. HOLD FINISH GRADES OF SHRUB AND GROUND COVER AREAS 1" BELOW THE TOP OF ADJACENT PAVEMENTS OR CURBS, UNLESS OTHERWISE NOTED.
11. MAXIMUM SLOPES ON WALKS SHALL NOT EXCEED 4.8% IN THE DIRECTION OF TRAVEL, WITHOUT A HANDRAIL.
12. SUBSURFACE DRAINAGE LINES SHALL BE PLACED WITH A MINIMUM OF 12" COVER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING INVERT ELEVATIONS AT ALL DRAINS AND PIPE DEPTHS TO ENSURE POSITIVE DRAINAGE AT THE SLOPE INDICATED TO THE OUTLET SHOWN ON THE PLANS.
13. MAXIMUM SLOPE IN LANDSCAPE PLANTING AREAS IS 3:1. MAX SLOPE IN TURF/SOD AREAS IS 4:1.
14. NO CHANGE IN CONTRACT PRICE WILL BE ALLOWED FOR ACTUAL OR CLAIMED DISCREPANCY BETWEEN EXISTING GRADE AND THOSE SHOWN ON PLANS AFTER CONTRACTOR HAS ACCEPTED EXISTING GRADES AND MOVED ONTO SITE.
15. CONTRACTOR TO ENSURE SMOOTH, CONTINUOUS TRANSITIONS BETWEEN SLOPES UNLESS OTHERWISE NOTED.

## LAYOUT NOTES

1. VERIFY EXISTING SITE INFORMATION INCLUDING, BUT NOT LIMITED TO STREET GRADES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, CURBS AND GUTTERS TAKEN FROM THE CIVIL ENGINEER'S DRAWINGS. THIS INFORMATION IS USED AS REFERENCE ONLY.
2. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
3. TAKE ALL DIMENSIONS FROM BACK OF CURB, FACE OF WALL OR BUILDING, AND CENTERLINE OF TREES UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS CALLED OUT AS 'EQUAL' (EQ) ARE EQUIDISTANT MEASUREMENTS.
5. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTION REGARDING DIMENSIONS, CONTACT DIG STUDIO FOR VERIFICATION.
6. ALL ANGLES TO MATCH THOSE NOTED ON DRAWING AND ALL LINES OF PAVING TO BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON DRAWINGS. DETACHED WALKS TO BE CONSTRUCTED PARALLEL TO CURB AND GUTTER UNLESS OTHERWISE NOTED.
7. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
8. CONCRETE SLABS OR FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS AND FOOTINGS WHERE SHOWN ON THE PLAN.
9. PROVIDE EXPANSION JOINTS IN CONCRETE PAVING, CURBS, AND WALLS, A MAXIMUM DISTANCE OF 30 FEET APART AND AT ALL INTERSECTIONS. PROVIDE EXPANSION JOINTS WHERE NEW CURBS, WALLS, AND ANY NEW CONCRETE ABUTS EXISTING CONCRETE PAVING, BUILDINGS, CURBS, AND WALLS UNLESS OTHERWISE NOTED.
10. PROVIDE CONTROL JOINTS EVENLY SPACED BETWEEN EXPANSION JOINTS AS SHOWN ON DRAWINGS, EXCEPT WHERE SPECIAL SCORE JOINT PATTERN IS SPECIFIED.
11. SLEEVES AND CONDUITS SHALL BE INSTALLED A MINIMUM OF 18 INCHES BELOW FINISHED GRADE AND SHALL EXTEND 12 INCHES BEYOND BACK OF CURBS, WALLS, AND PAVING.
12. ARCS AND CURVES TO BE SMOOTH AND CONTINUOUS. STAKE AND FIELD REVIEW WITH LANDSCAPE ARCHITECT WHEN NECESSARY AND PRIOR TO FORMING.
13. COORDINATE AND FIELD VERIFY ALL SLEEVING LOCATIONS FOR ALL UTILITY, ELECTRICAL, AND IRRIGATION PRIOR TO CONSTRUCTION.

## PLANTING NOTES

1. ALL PLANT MATERIALS SHALL MEET OR EXCEED CURRENT AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) AND THE COLORADO NURSERY ACT AND ACCOMPANYING RULES AND REGULATIONS.
2. ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OR SPADED PLANTS WILL NOT BE ACCEPTED.
3. SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING BED AS SHOWN ON THE DRAWINGS.
4. ALL PLANTS WILL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.
5. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND CITY OF LOUISVILLE FORESTRY PRIOR TO DELIVERY TO THE SITE.
6. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF FINISH GRADING PRIOR TO THE START OF PLANTING.
7. STAKE LOCATIONS OF ALL PROPOSED TREES AND EDGES OF NEW PLANTING BEDS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.
8. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION.
9. LANDSCAPE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST OF UTILITY REPAIR DUE TO DAMAGE CAUSED BY HIS OPERATIONS.
10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
11. SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS, SOIL PREPARATION TESTING, MATERIALS AND EXECUTION. ARRANGE FOR VISIT OF LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION.
12. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
13. LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE, AS CALLED OUT ON PLANTING PLANS. UNIT COST TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC., AS DETAILED AND SPECIFIED FOR EACH SIZE.
14. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
15. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE THROUGHOUT THE SITE WITH ACCURATELY SET FLOW LINES. NO LOW SPOTS OR PONDING OF SURFACE WATER WILL BE ACCEPTED IN FINAL WORK.
16. COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH INSTALLATION OF WALL FOOTINGS, BRIDGE ABUTMENTS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
17. THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.

18. IMPORTED SOIL SHALL BE USED TO SUPPLEMENT THE EXISTING SOIL AS NECESSARY TO MEET THE FINISH GRADE REQUIREMENTS AT PLANTING AREAS.
19. THE LANDSCAPE CONTRACTOR SHALL VERIFY SOIL TEST AT HIS EXPENSE PRIOR TO PLANTING AND WILL FOLLOW TEST RECOMMENDATIONS AND LANDSCAPE ARCHITECT'S APPROVAL FOR SOIL AMENDMENTS.
20. THE LANDSCAPE CONTRACTOR SHALL RECEIVE THE SPECIFIED SUBGRADE ELEVATION, OF +/- ONE TENTH OF A FOOT BELOW FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL AMENDED OR IMPORTED SOIL IN ANY PLANTING AREAS AS NECESSARY TO ACHIEVE THE SPECIFIED FINISH PLANTING GRADES UNLESS OTHERWISE NOTED ON PLANS OR SPECS.
21. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE LOCATION OF PLANT MATERIAL DURING INSTALLATION AS APPROPRIATE TO THE PROJECT. FOR TREES IN THE RIGHT-OF-WAY BY BUILDER OR CONTRACTOR, ADJUSTMENTS OF 5'-0" OR MORE MUST HAVE PRIOR AUTHORIZATION OF CITY FORESTER.
22. CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE LAYOUT, GRADING AND CIVIL ENGINEERING DOCUMENTS TO COORDINATE ACTUAL LOCATION OF TREES AND SHRUBS.
23. MAINTENANCE STATEMENT: ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT LIMITED TO, MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
24. TAKE ALL DIMENSIONS FROM BACK OF CURB, CENTER LINE OF TREES, AND CENTERLINE OF LIGHT POLE BASES, UNLESS OTHERWISE NOTED.
25. TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
26. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTION REGARDING DIMENSION, CONTACT LANDSCAPE ARCHITECT FOR VERIFICATION.
27. ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. LAWN AREAS WILL BE SPRAYED AND SHRUBS WILL BE DRIP IRRIGATED. NATURAL AREAS, SUCH AS THOSE WITH PRAIRIE TYPES OF GRASSES AND NATIVE SHRUB SPECIES, ARE DESIGNED TO IRRIGATE THROUGH GROWN AND THEN BE SHUT OFF EXCEPT DURING SEVERE DROUGHT. CONTRACTOR SHALL BE RESPONSIBLE FOR TAPS, BACKFLOW PREVENTION AND WINTERIZATION SYSTEMS, SLEEVING UNDER PAVED AREAS AND ALL SPRINKLER SYSTEM COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL SYSTEM. TREES SHALL BE ON A SEPARATE ZONE FROM TURF.
28. STREET TREES SHALL BE PLACED 5'-0" MIN FROM BURIED UTILITIES.
29. PER GEOTECH REPORT, ALL PLANTING TO BE LOCATED A MINIMUM OF 5'-0" OFF OF BUILDING FOUNDATION.
30. TURF AREAS SHALL RECEIVE SOIL AMENDMENT. AMENDMENT SHALL BE A MAXIMUM OF THREE AND ONE-HALF (3.5) CUBIC YARDS OF PURE ORGANIC MATERIAL PER ONE THOUSAND (1,000) SQUARE FEET. TILLED TO A MINIMUM DEPTH OF SIX (6) INCHES. TURF SOD MIX SHALL MATCH THE TOWN OF SUPERIOR TURF SOD SPECIFICATION.
31. ALL SHRUB, PERENNIAL AND GROUND COVER AREAS TO RECEIVE SOIL AMENDMENT. AMEND SOIL PER SOIL TESTING RESULTS AND RECOMMENDATIONS.
32. ALL SHRUB, PERENNIAL AND GROUND COVER AREAS TO RECEIVE 3" DEEP PEA GRAVEL MULCH APPLICATION, PER DETAILS/SPECIFICATIONS.

## ABBREVIATIONS

APPROX	APPROXIMATE	LOW	LIMIT OF WORK
ARCH	ARCHITECT	LP	LOW POINT
BC	BOTTOM OF CURB	MAX	MAXIMUM
BLDG	BUILDING	MIN	MINIMUM
BOC	BACK OF CURB	MISC	MISCELLANEOUS
BOS	BOTTOM OF SLOPES	PA	PLANTING AREA
BS	BOTTOM OF STEPS	PED	PESTRIAN
BW	BOTTOM OF WALL	PG	PROPOSED GRADE
CIP	CAST IN PLACE	PIP	POURED IN PLACE
CJ	CONTROL JOINT	PL	PROPERTY LINE
CL	CENTERLINE	PT	POINT OF TANGENCY
CONC	CONCRETE	PVMT	PAVEMENT
CONT	CONTINUOUS	QTY	QUANTITY
CP	CENTER POINT	R	RADIUS
DI	DRAIN INLET	RIM	RIM ELEVATION
DIA	DIAMETER	RE	REFER TO
DIM	DIMENSION	ROW	RIGHT OF WAY
EA	EXISTING GRADE	SF	SQUARE FEET
EG	EXISTING GRADE	SHT	SHEET
EJ	EXPANSION JOINT	SPECS	SPECIFICATIONS
EL	ELEVATION	STA	STATION
EQ	EQUAL	STD	STANDARD
EW	ENGINEER WOOD FIBER	TC	TOP OF CURB
EXIST	EXISTING	TG	TOP OF GRATE
FOC	FACE OF CURB	TP	TANGENT POINT
FFE	FINISH FLOOR ELEVATION	TW	TOP OF WALL
FG	FINISH GRADE	TYP	TYPICAL
FL	FLOW LINE	VERT	VERTICAL
FW	FACE OF WALL	VOL	VOLUME
FS	FINISH SURFACE		
GB	GRADE BREAK		
HP	HIGH POINT		
INV	INVERT OF PIPE		

## SHEET LIST

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### LANDSCAPE PLANTING SHEETS

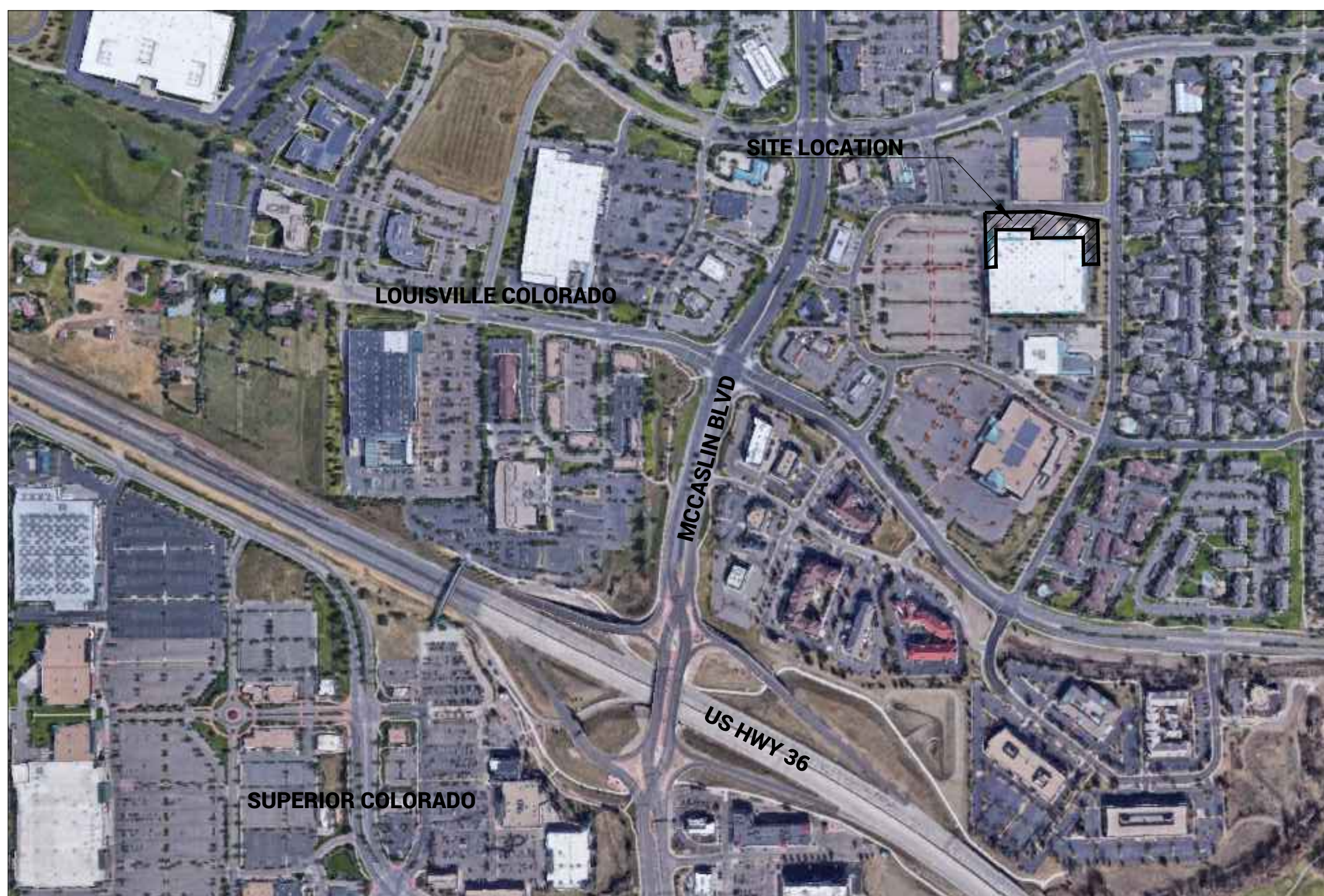
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## ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

## ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

## PUD AMENDMENT

DRAWN BY:	
CHECKED BY:	MRB
PROJECT NO.:	20-086-002
REVISIONS	

DATE  
**07/14/2023**

## SHEET TITLE

## SHEET INFORMATION

# ASCENT COMMUNITY CHURCH/RELISH

S 1/2 SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT TITLE

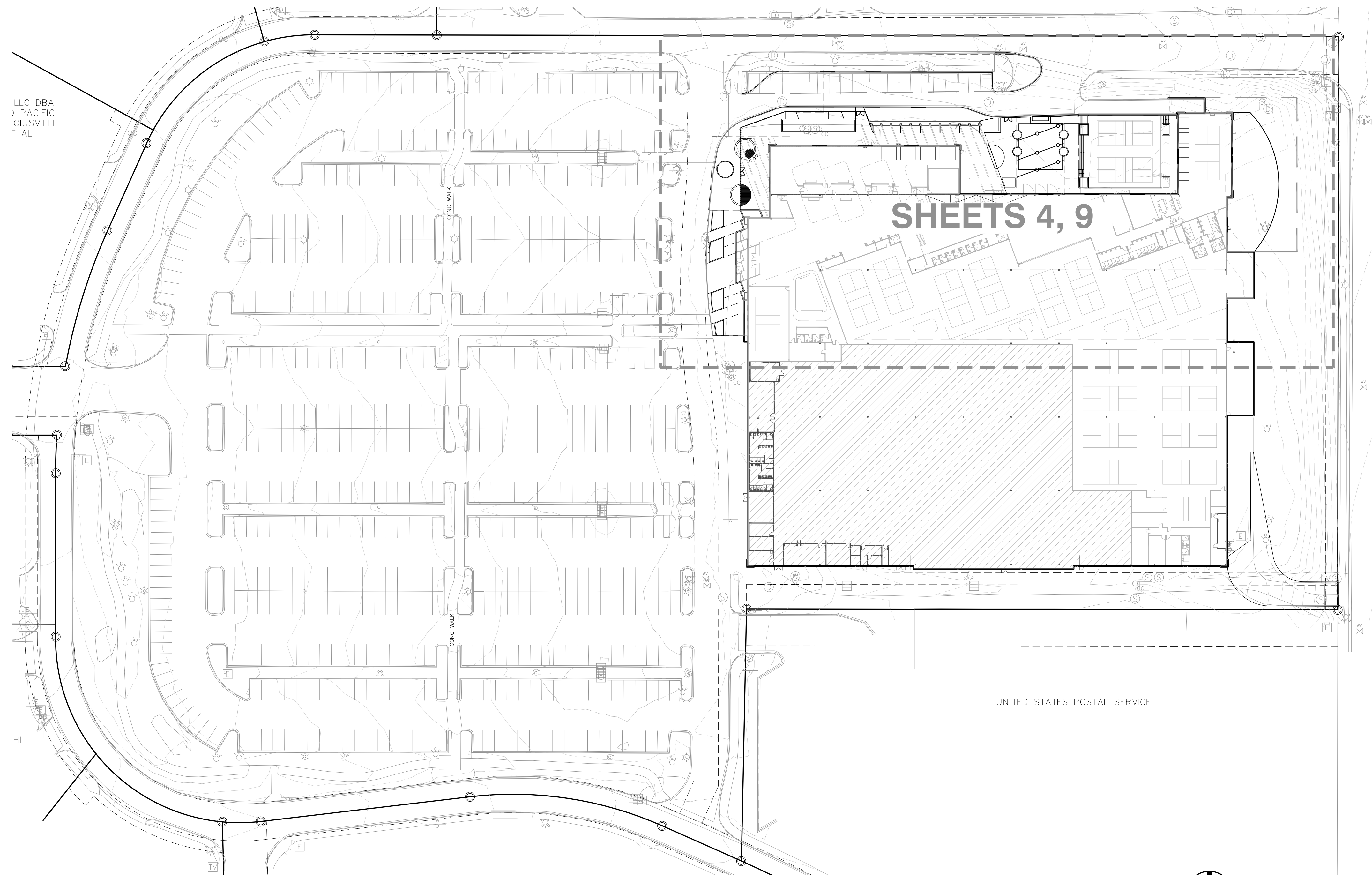
ASCENT  
COMMUNITY  
CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

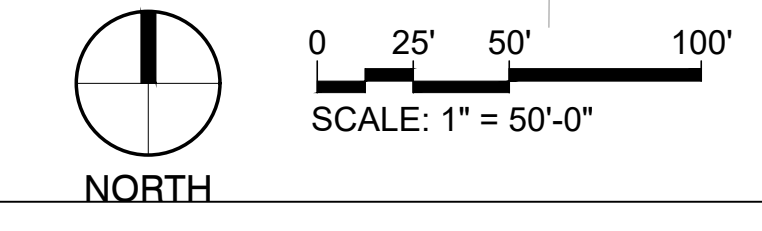
PREPARED FOR

ASCENT COMMUNITY  
CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027



**1** LANDSCAPE SCOPE OF WORK  
SCALE: 1" = 50'-0"



SUBMITTAL

PUD AMENDMENT

DRAWN BY:

CHECKED BY:

PROJECT NO.:

REVISIONS

DATE

SHEET TITLE

SHEET INFORMATION

07/14/2023

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# ASCENT COMMUNITY CHURCH/RELISH

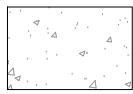
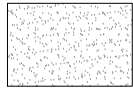

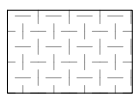
S ½ SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

LOGO



SEAL

## REFERENCE NOTES SCHEDULE

1 - PAVING & SURFACING											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	THICKNESS	SUBMITTAL	SHOP DRAWING	MOCK-UP
	1-01 CONCRETE TYPE ONE	9,968 SF		PER CONTRACTOR	N/A	BROOM	STANDARD GREY	4"	X		X
	1-02 CONCRETE TYPE TWO	2,350 SF		COLORADO HARDSCAPES	TBD	SAND	TBD	4"	X		X
	1-04 SYNTHETIC TURF	1,810 SF		SYNLAWN	TBD	TBD	TBD	N/A	X		X
	1-05 CONCRETE STEPS	460 LF									
	1-06 6" H CONCRETE CURBS										
	1-07 8"W CONCRETE CURB AT BOCCO COURT										
2 - WALLS & FENCES											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	HEIGHT	SUBMITTAL	SHOP DRAWING	MOCK-UP
	2-01 CONCRETE SEAT STEPS WITH SYNTHETIC WOOD BENCH TOP										
	2-02 CMU BLOCK WALL	1,291 LF									
	2-04 CONCRETE SEAT WALL										
	2-05 6FT HEIGHT SCREEN WALL	416 LF									
	2-06 3FT HEIGHT CAFE RAILING										
	2-07 3FT HEIGHT CAFE GATE										
	2-08 6FT HEIGHT SCREEN WALL GATE										
3 - METALS											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SIZE	SUBMITTAL	SHOP DRAWING	MOCK-UP
	3-01 12FT HEIGHT CATENARY POST										
	3-02 CUSTOM OUTDOOR FIRE PLACE										
4 - WOOD, PLASTICS AND COMPOSITES											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SPECIES	SUBMITTAL	SHOP DRAWING	MOCK-UP
	4-01 SYNTHETIC WOOD PLATFORM DECKING										
	4-03 SYNTHETIC WOOD BENCH SEAT WALL										
5 - FURNISHINGS											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SIZE	SUBMITTAL	SHOP DRAWING	SAMPLE
	5-01 HAND RAIL	459 LF									
	5-02 OVERHEAD FESTOON LIGHTING (BY OTHERS)	121 LF									
	5-04 BOLLARD										
	5-05 ROUND PLANTER POT	4									
	5-06 SPUN CHAIRS	3									
	5-07 OUTDOOR FOOSBALL TABLE										
	5-08 PING PONG TABLE										
	5-09 DRINK RAIL										
	5-10 CORN HOLE BOARDS										
	5-11 CUSTOM FEATURE WALL										
8 - PLANTING											
CODE	DESCRIPTION	QTY	DETAIL	MANUFACTURER	MODEL	FINISH	COLOR	SIZE	SUBMITTAL	SHOP DRAWING	MOCK-UP
	8-01 WOOD MULCH	40.98 CY									

PROJECT TITLE

ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

PREPARED FOR

ASCENT COMMUNITY CHURCH

550 McCASLIN BLVD  
LOUISVILLE, CO 80027

SUBMITTAL

PUD AMENDMENT

DRAWN BY:

CHECKED BY: MRB

PROJECT NO.: 20-086-002

REVISIONS

NO.	DATE	DESCRIPTION

DATE

07/14/2023

SHEET TITLE

LANDSCAPE MATERIALS SCHEDULE + NOTES

SHEET INFORMATION

# ASCENT COMMUNITY CHURCH/RELISH

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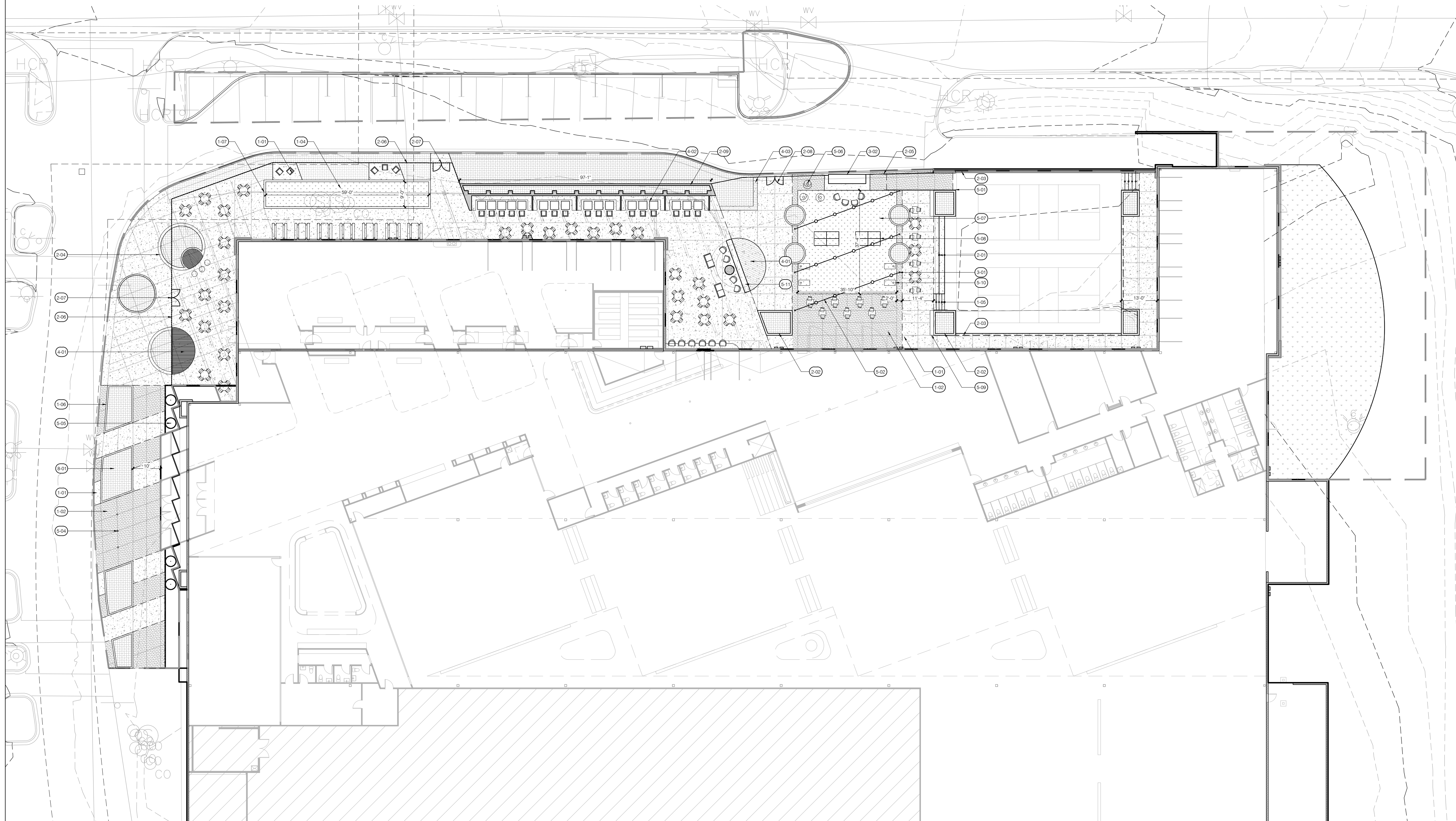


PROJECT TITLE  
**ASCENT COMMUNITY CHURCH**

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PREPARED FOR  
**ASCENT COMMUNITY CHURCH**

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REFERENCE NOTES SCHEDULE			
CODE	DESCRIPTION	QTY	DETAIL
<b>1 - PAVING &amp; SURFACING</b>			
1-01	CONCRETE TYPE ONE	9,968 SF	
1-02	CONCRETE TYPE TWO	2,390 SF	
1-04	SYNTHETIC TURF	1,810 SF	
1-05	CONCRETE STEPS	480 LF	
1-06	6" H CONCRETE CURBS		
1-07	8" W CONCRETE CURB AT BOOGE COURT		
<b>2 - WALLS &amp; FENCES</b>			
2-01	CONCRETE SEAT STEPS WITH SYNTHETIC WOOD BENCH TOP	1,291 LF	
2-02	CMU BLOCK WALL		
2-04	CONCRETE SEAT WALL		
2-05	6FT HEIGHT SCREEN WALL	416 LF	
2-06	3FT HEIGHT CAFE RAILING		
2-07	3FT HEIGHT CAFE GATE		
2-08	6FT HEIGHT SCREEN WALL GATE		
<b>3 - METALS</b>			
3-01	12FT HEIGHT CATENARY POST		
3-02	CUSTOM OUTDOOR FIRE PLACE		
<b>4 - WOOD, PLASTICS AND COMPOSITES</b>			
4-01	SYNTHETIC WOOD PLATFORM DECKING		
4-03	SYNTHETIC WOOD BENCH SEAT WALL		
<b>5 - FURNISHINGS</b>			
5-01	HAND RAIL	459 LF	
5-02	OVERHEAD FESTOON LIGHTING (BY OTHERS)	121 LF	
5-04	BOLLARD		
5-05	ROUND PLANTER POT	4	
5-06	SPUN CHAIRS	3	
5-07	OUTDOOR FOOTBALL TABLE		
5-08	PING PONG TABLE		
5-09	DRINK RAIL		
5-10	CORN HOLE BOARDS		
5-11	CUSTOM FEATURE WALL		
<b>8 - PLANTING</b>			
8-01	WOOD MULCH	40.98 CY	

SUBMITTAL  
**PUD AMENDMENT**

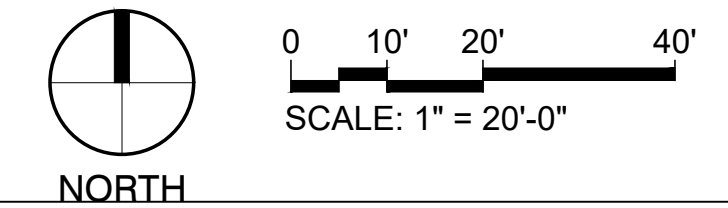
DRAWN BY:  
CHECKED BY: MRB  
PROJECT NO.: 20-086-002

REVISIONS	DATE

DATE  
**07/14/2023**

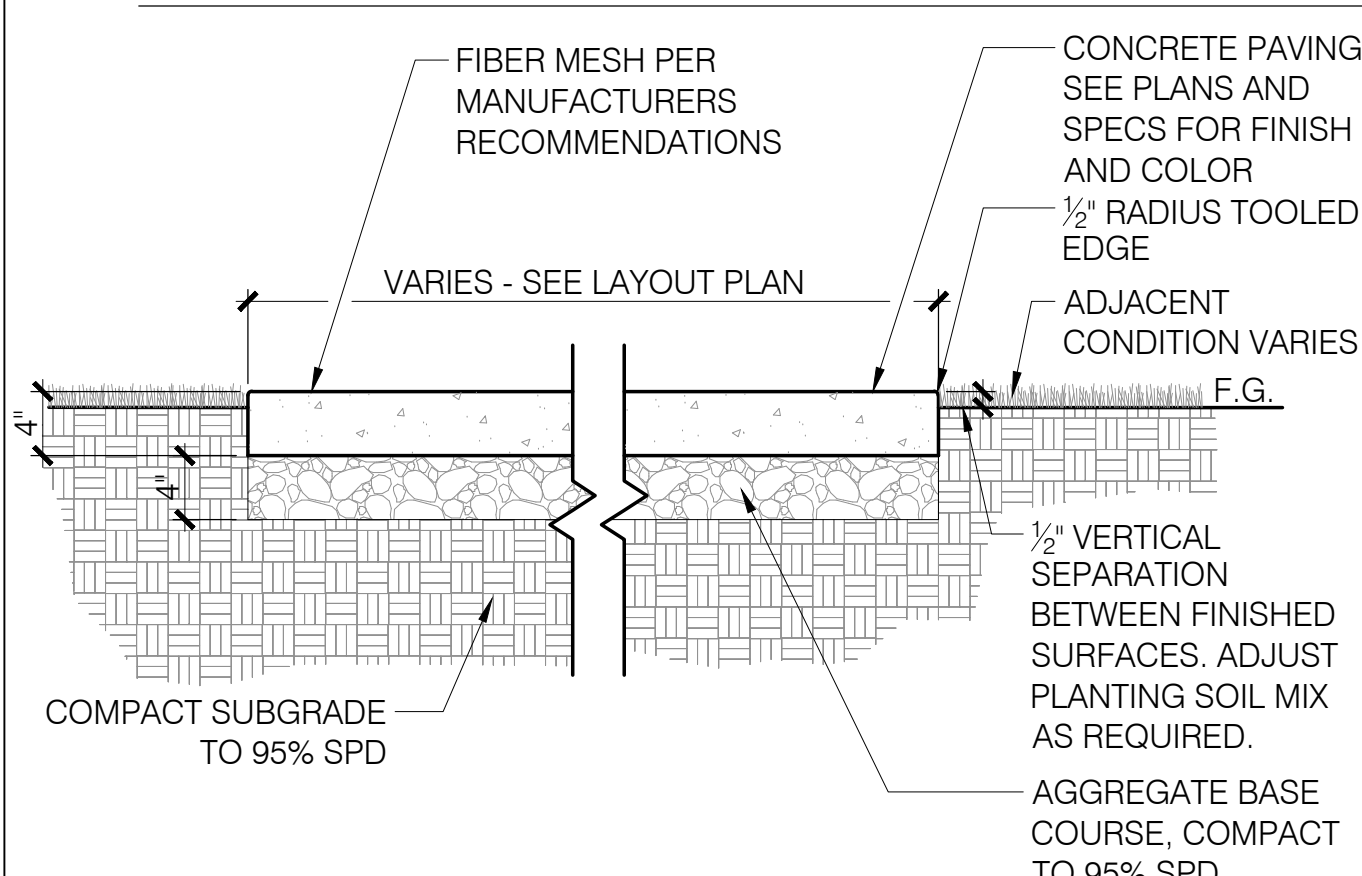
SHEET TITLE  
**LANDSCAPE MATERIALS PLAN**

SHEET INFORMATION



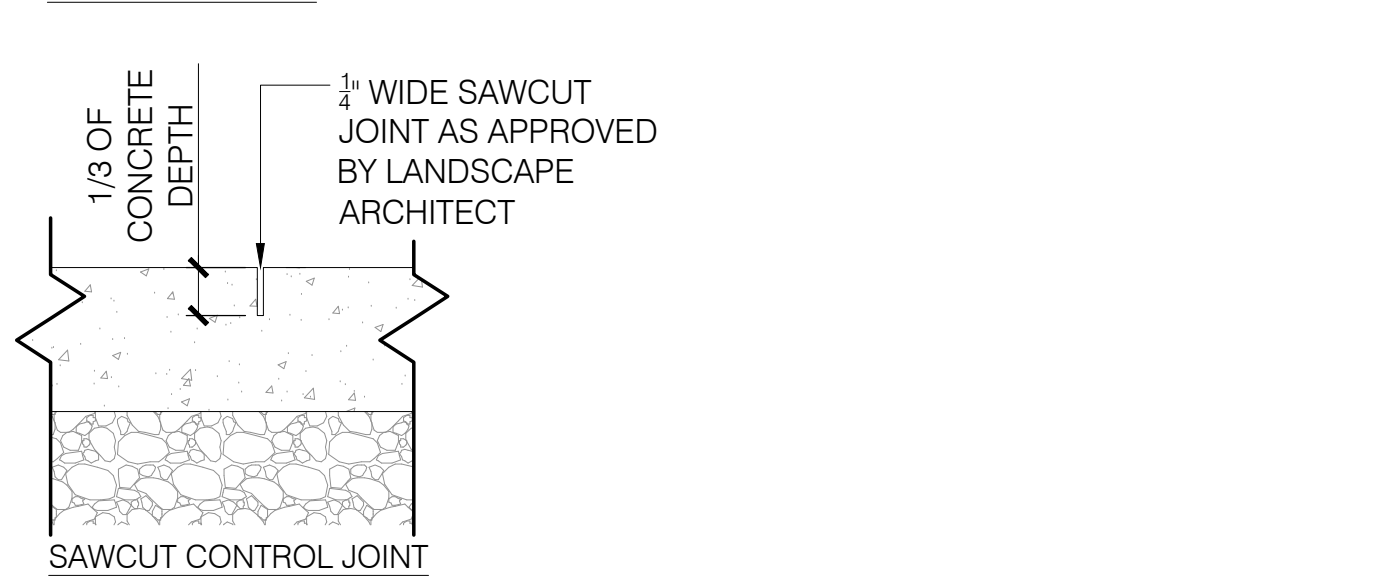
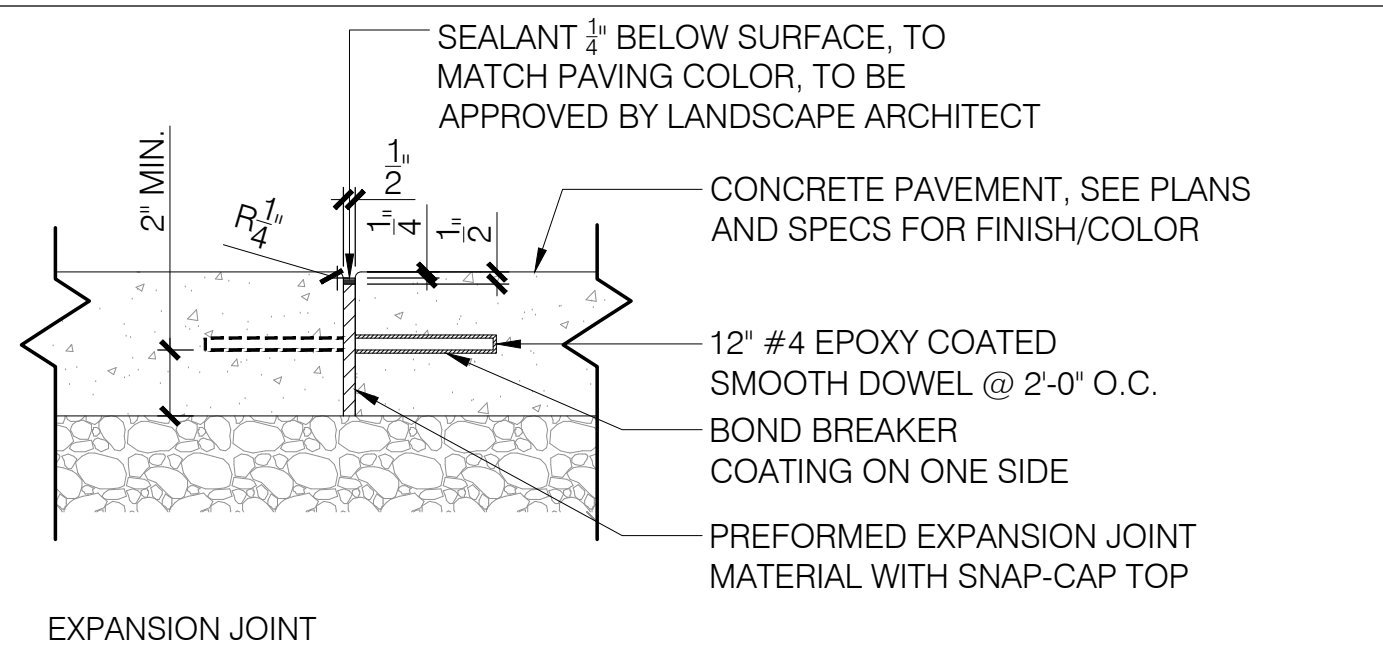
# ASCENT COMMUNITY CHURCH/RELISH

S 1/2 SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

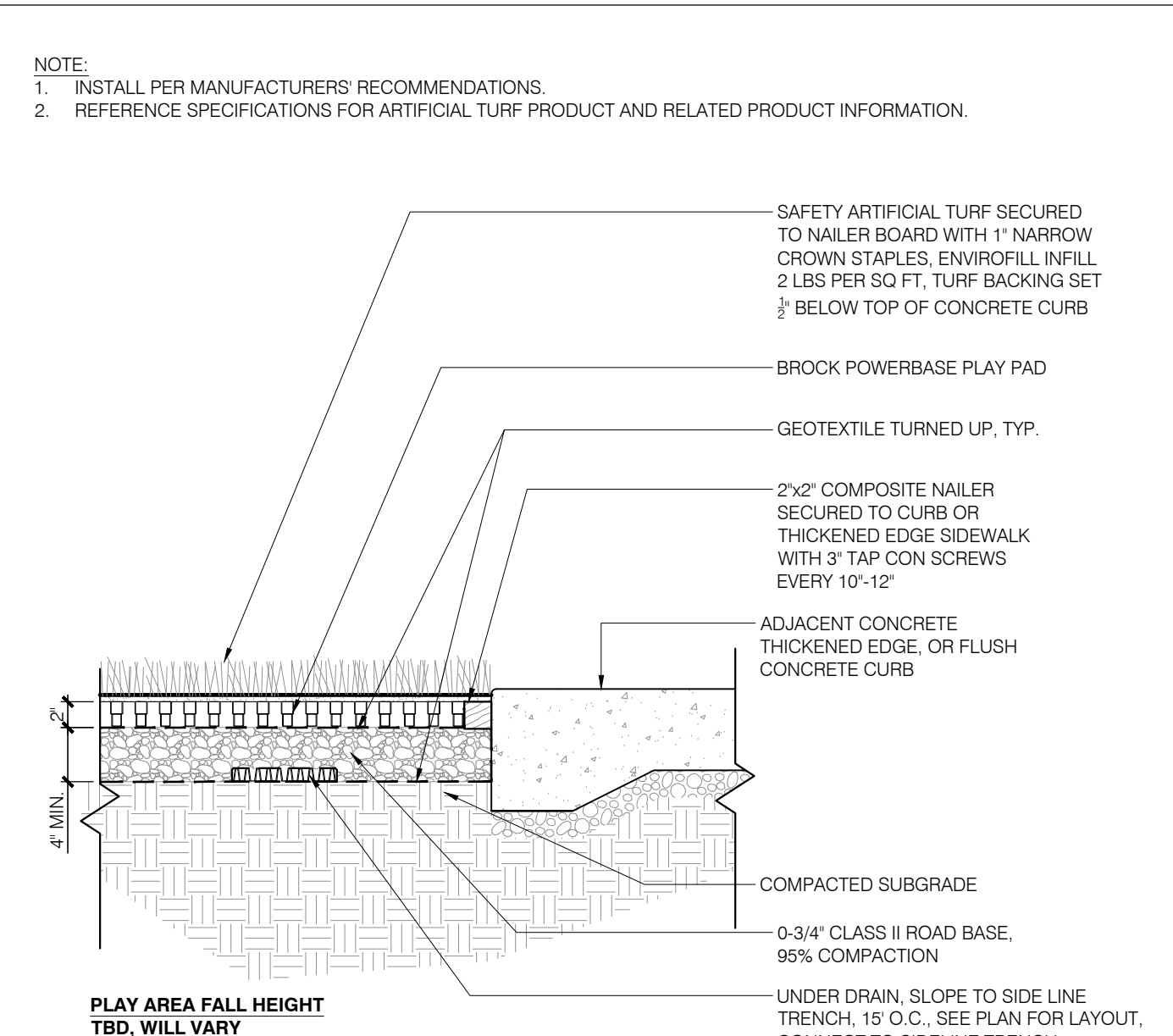


- NOTES:**
1. PROVIDE 1.5% SLOPE MIN. UNLESS OTHERWISE NOTED. MAX 1.8% CROSS SLOPE.
  2. EXPANSION JOINTS AT 30'-0" O.C. MAXIMUM, AT SIDEWALK INTERSECTIONS AND WHERE CONCRETE PAVING ABUTS STRUCTURES. UNLESS OTHERWISE NOTED.
  3. CONTROL JOINTS AT 6'-0" O.C. MAXIMUM.
  4. SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS.
  5. COLOR A: STANDARD SAND FINISH CONCRETE  
COLOR B: TBD

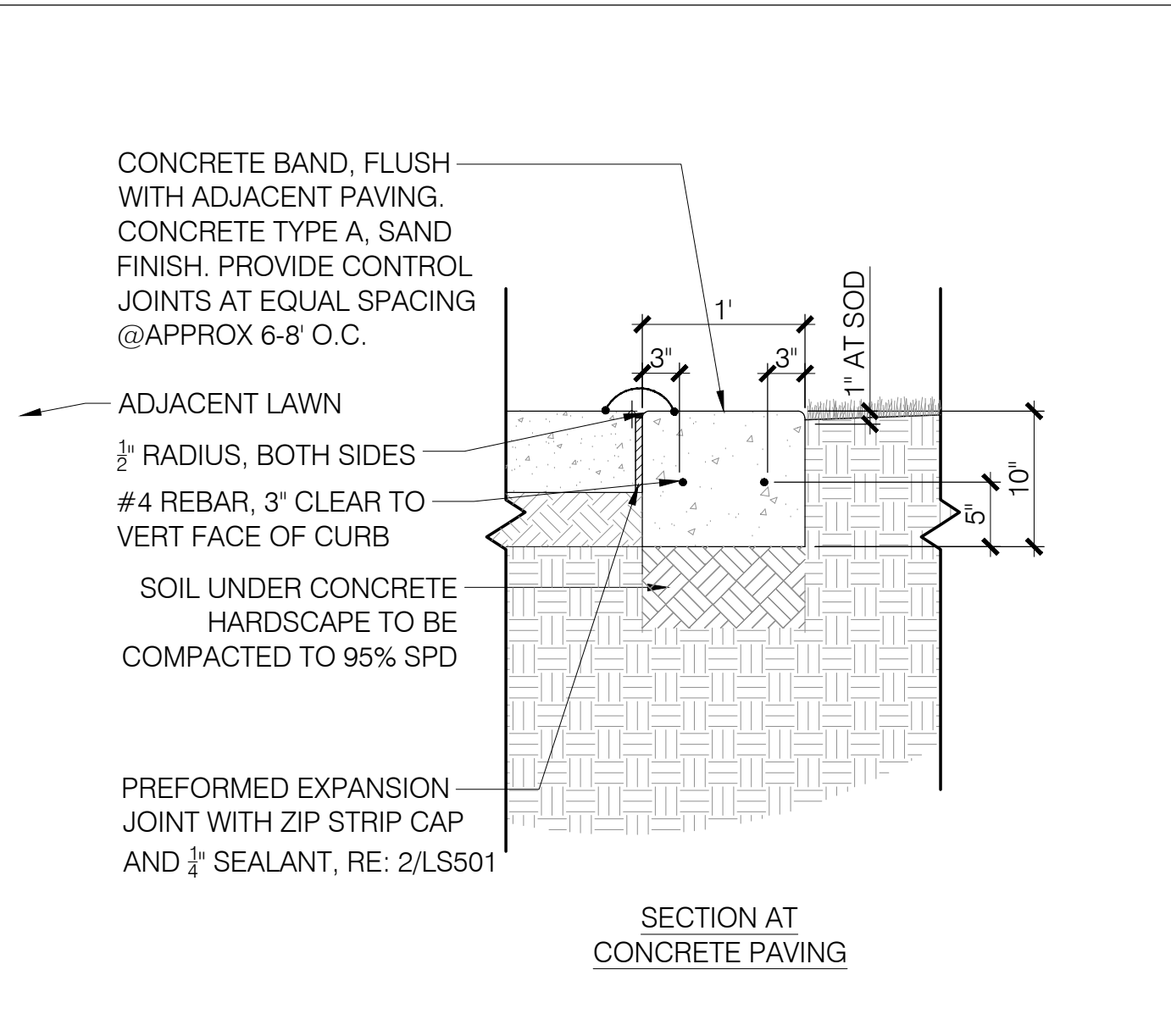
**1 CONCRETE PAVING (PEDESTRIAN)**  
1" = 1'-0"



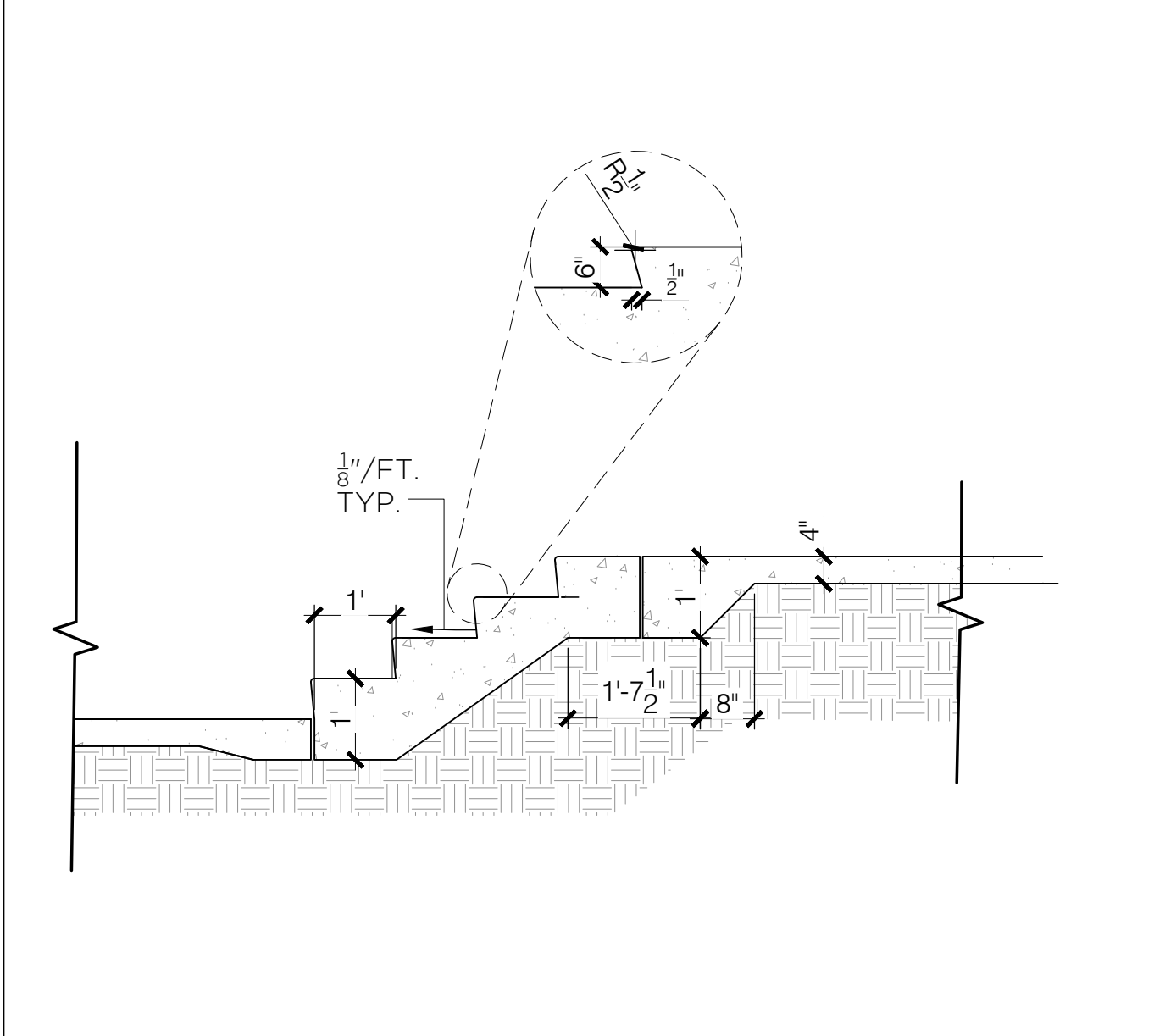
**2 EXPANSION, CONTROL, & CONSTRUCTION JOINTS**  
1 1/2" = 1'-0" P-REL-08



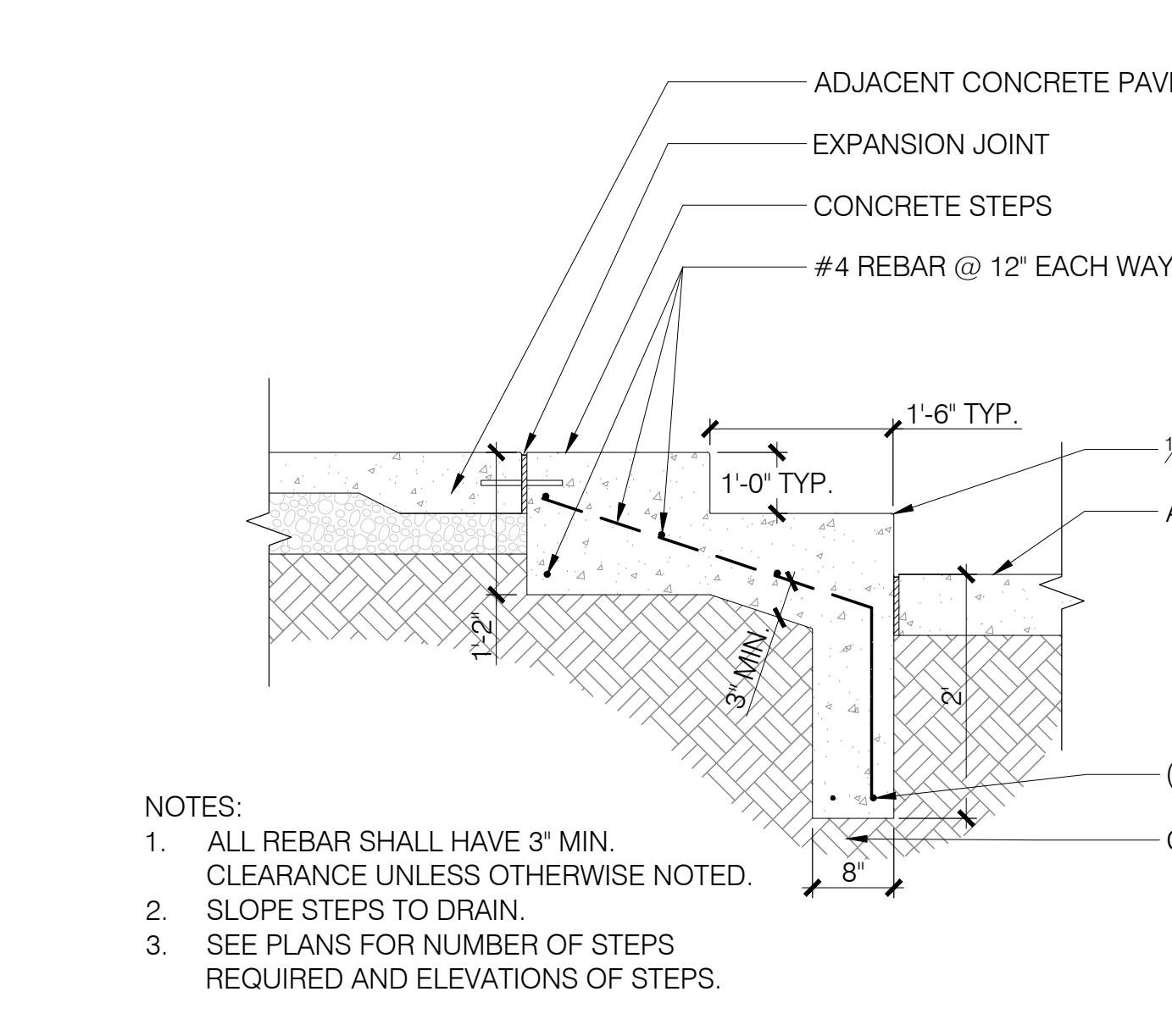
**3 SYNTHETIC TURF**  
1" = 1'-0" P-REL-11



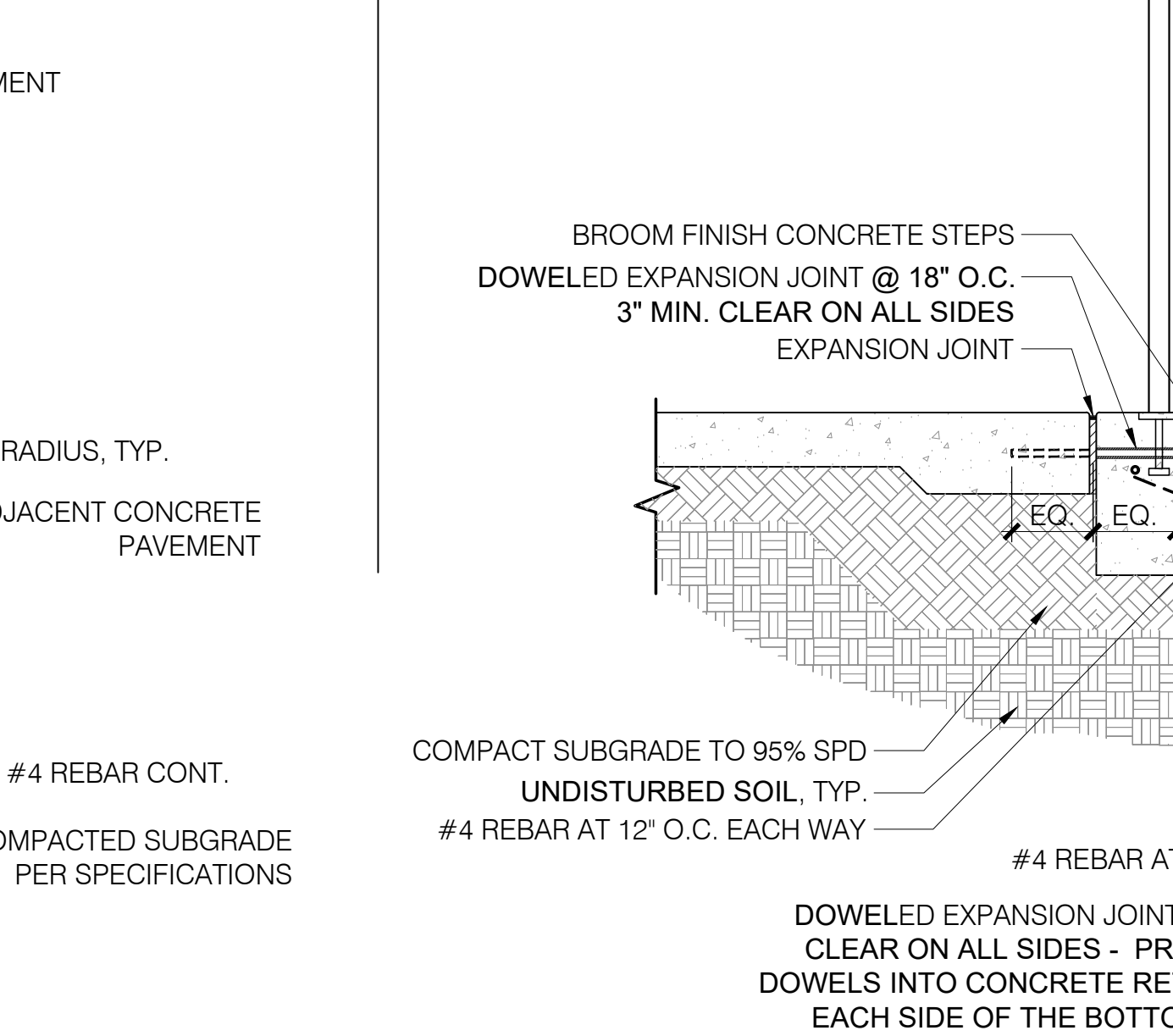
**4 CONCRETE BAND AT LAWN**  
1" = 1'-0" P-REL-11



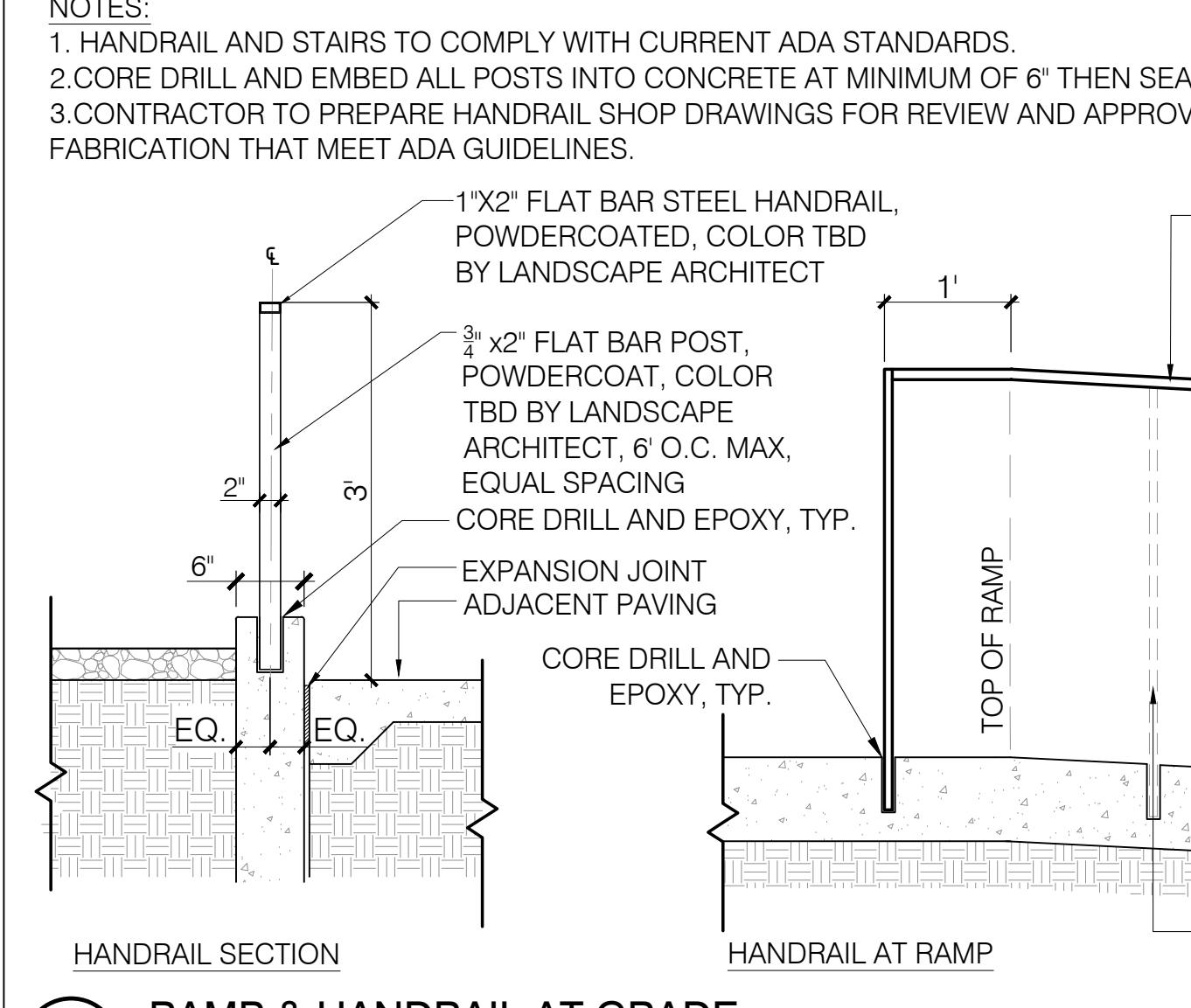
**5 CONCRETE STEPS**  
1/2" = 1'-0"



**7 CONCRETE SEAT STEPS**  
3/4" = 1'-0"



**6 HANDRAIL AT CONCRETE STEPS**  
1" = 1'-0" P-REL-88



**1 RAMP & HANDRAIL AT GRADE**  
3/4" = 1'-0"

PROJECT TITLE  
**ASCENT COMMUNITY CHURCH**

PREPARED FOR  
**ASCENT COMMUNITY CHURCH**

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

SUBMITTAL

PUD AMENDMENT

DRAWN BY:

CHECKED BY: MRB

PROJECT NO.: 20-086-002

REVISIONS


DATE

**07/14/2023**

SHEET TITLE

**LANDSCAPE SITE DETAILS**

SHEET INFORMATION

5 of 10

# ASCENT COMMUNITY CHURCH/RELISH

S 1/2 SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT TITLE

ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

PREPARED FOR

ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

SUBMITTAL

PUD AMENDMENT

DRAWN BY:

CHECKED BY: MRB

PROJECT NO.: 20-086-002

REVISIONS

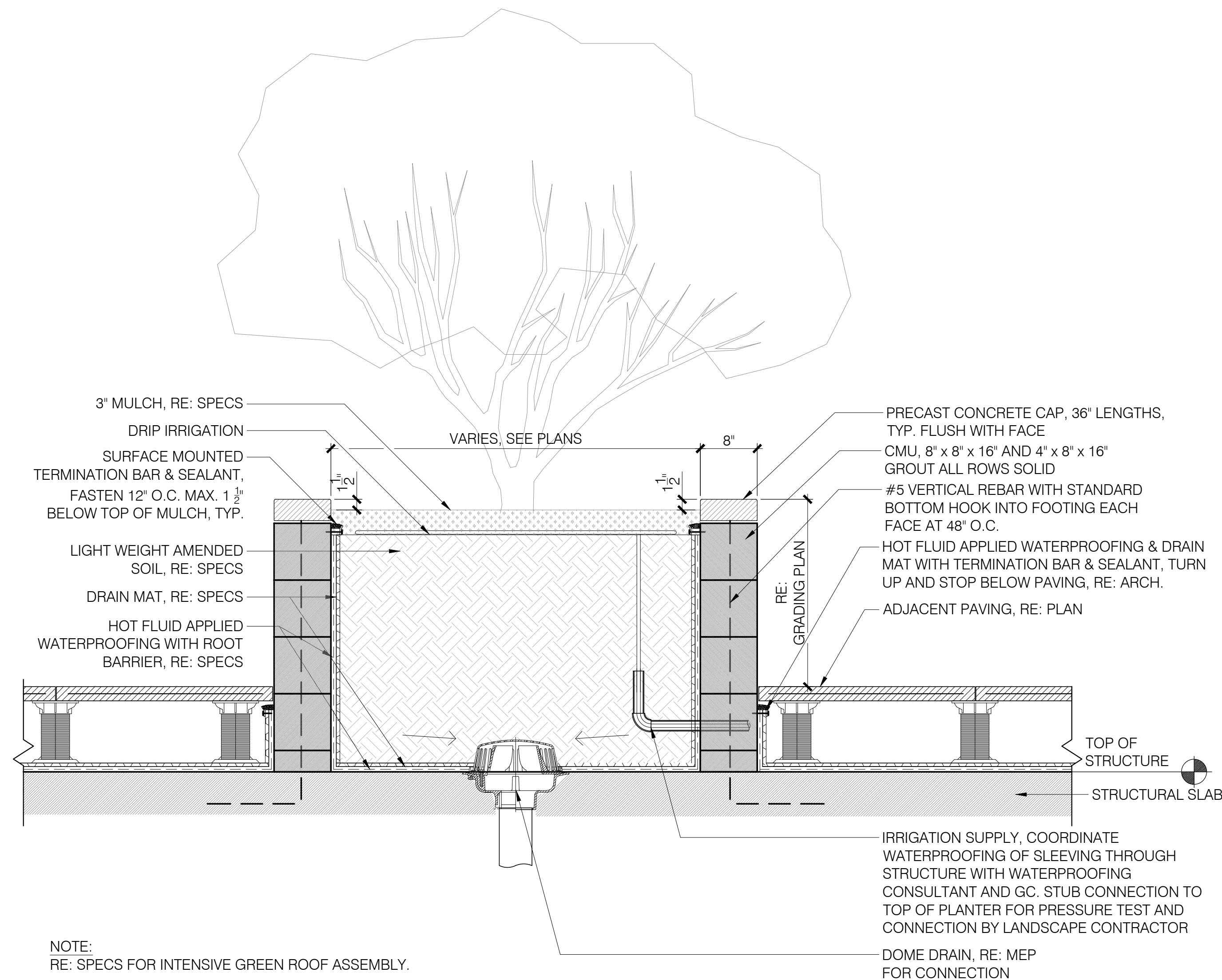
DATE

07/14/2023

SHEET TITLE

LANDSCAPE SITE DETAILS

SHEET INFORMATION

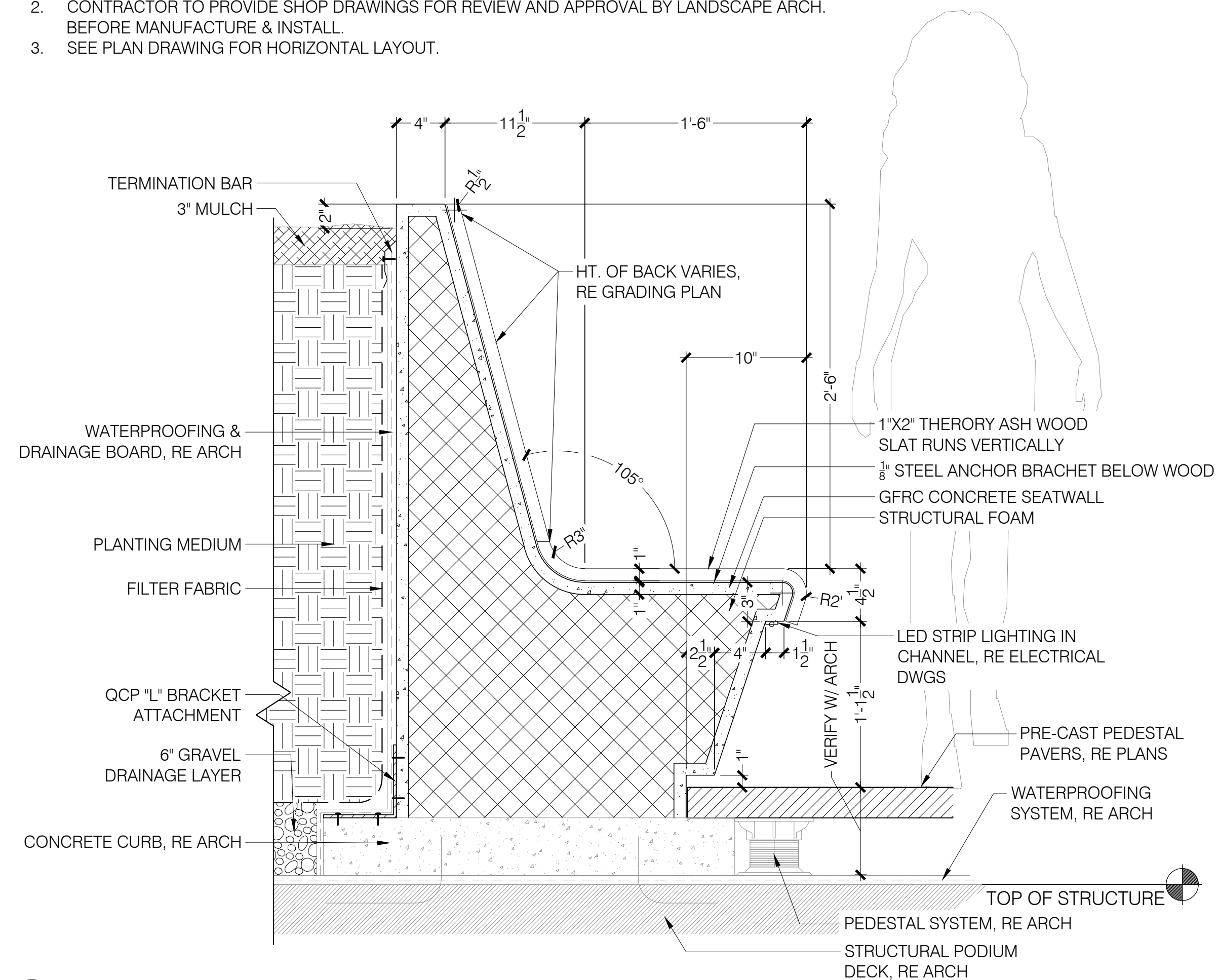


1 CMU PLANTER WALL W/ PRECAST CAP

1" = 1'-0"

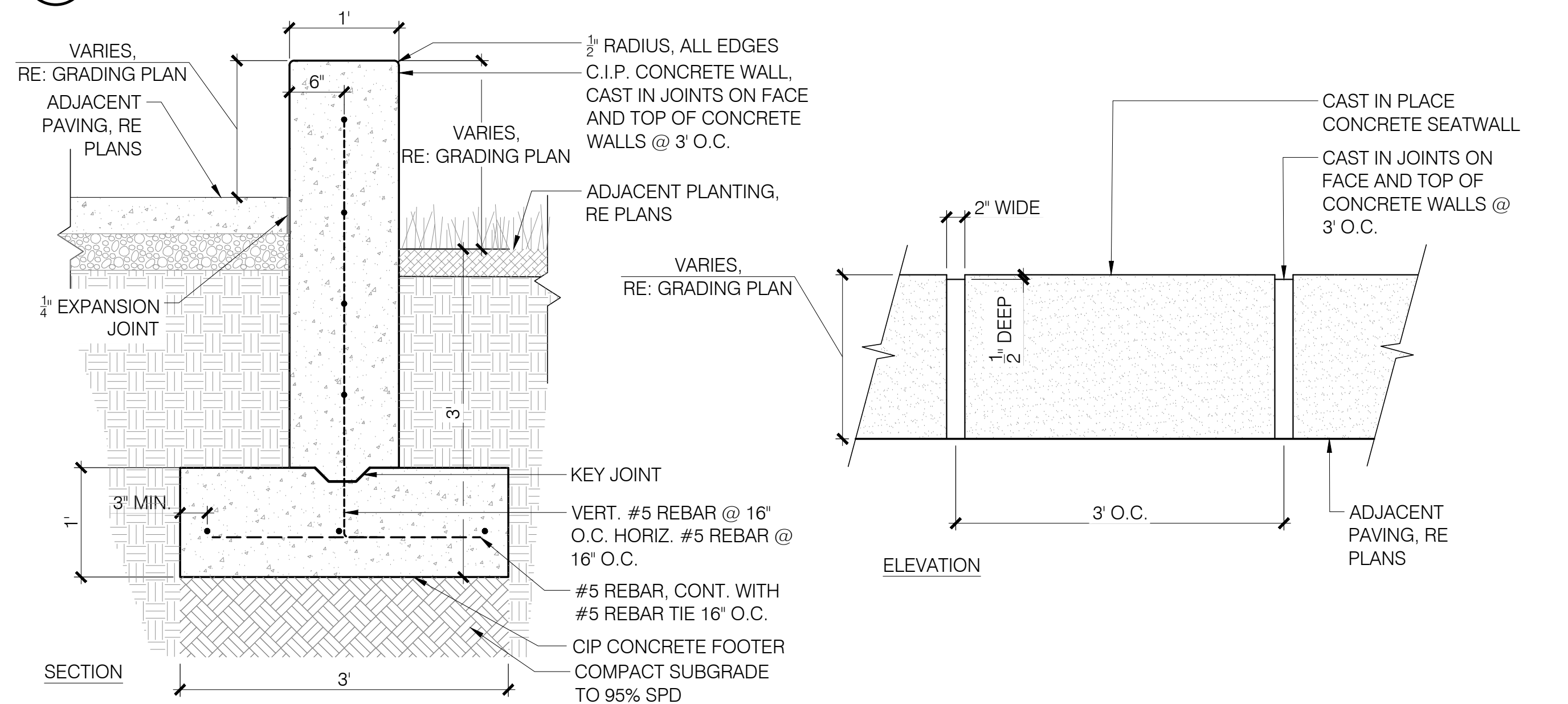
P-REL-20

- NOTES:
1. CONTRACTOR TO FINALIZE DETAILING WITH QCP.
  2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCH. BEFORE MANUFACTURE & INSTALL.
  3. SEE PLAN DRAWING FOR HORIZONTAL LAYOUT.



2 GFR PLANTER WALL & BENCH @ PED. PAVERS

1 1/2" = 1'-0"



3 CAST IN PLACE SEATWALL

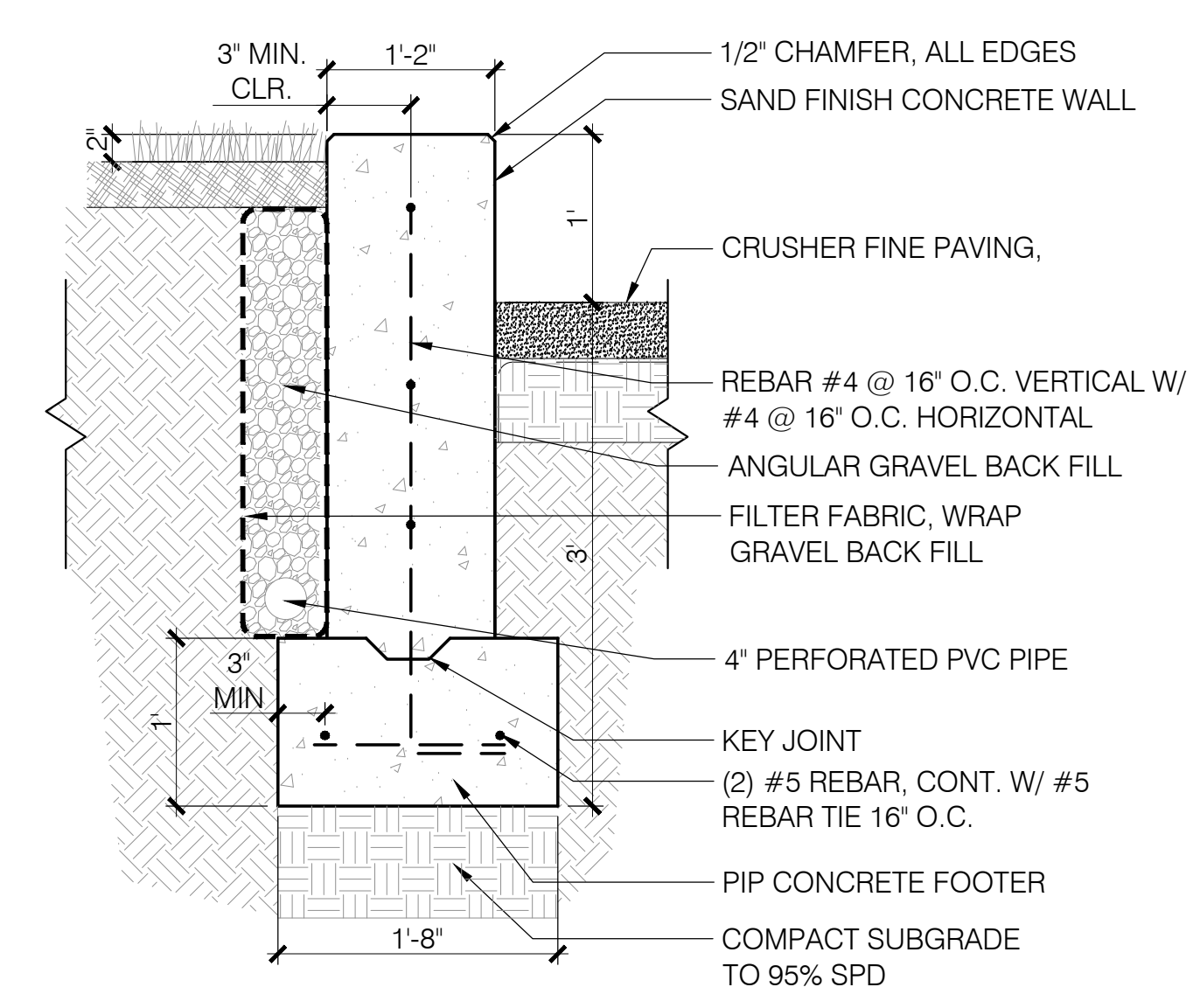
1" = 1'-0"



- NOTES:
- MANUFACTURER - STREETLIFE
  - SIZE - SEE PLAN
  - MATERIAL - METAL AND WOOD SLAT
  - COLOR - TBD

4 PODIUM DISC BENCH

1" = 1'



5 1FT CONC. RETAINING WALL

1" = 1'-0"

P-REL-64

# ASCENT COMMUNITY CHURCH/RELISH

S 1/2 SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

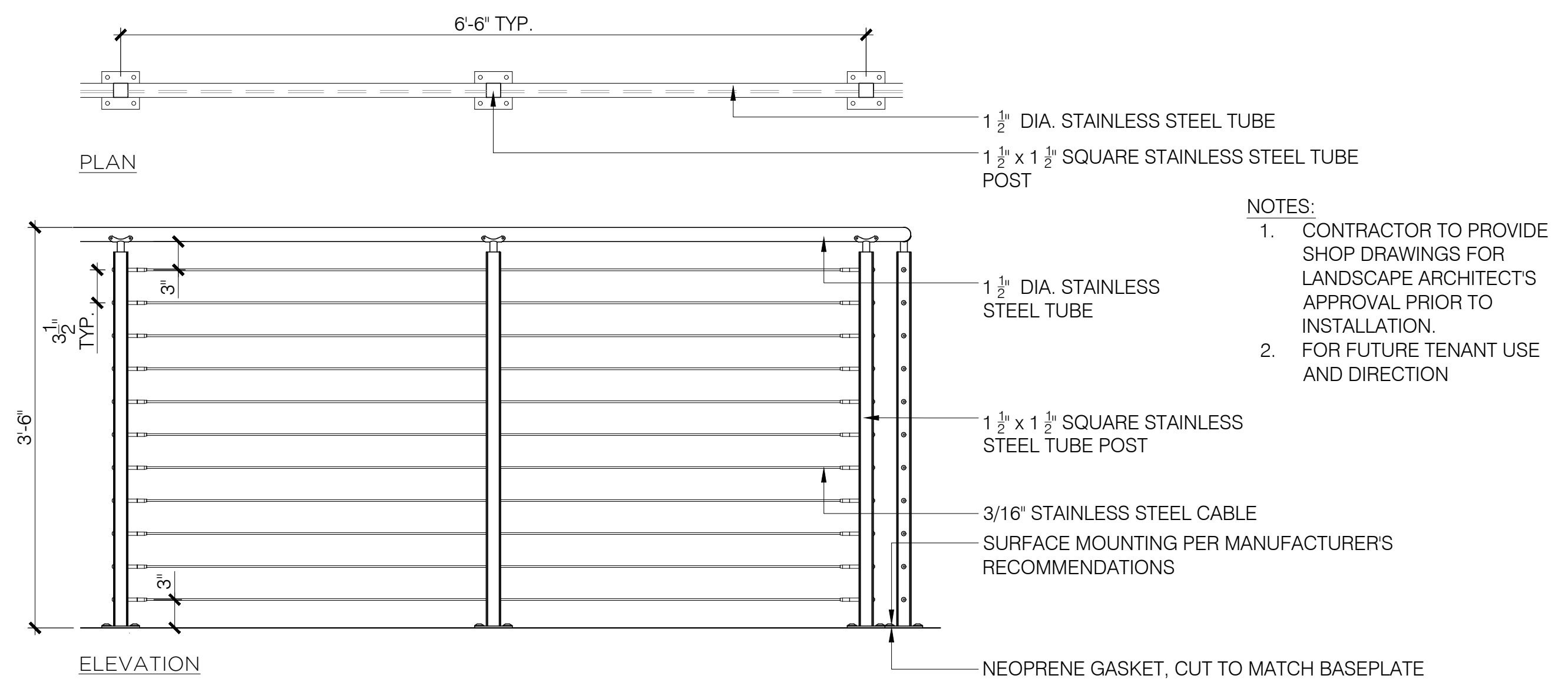
SEAL

PROJECT TITLE  
**ASCENT COMMUNITY CHURCH**

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

PREPARED FOR  
**ASCENT COMMUNITY CHURCH**

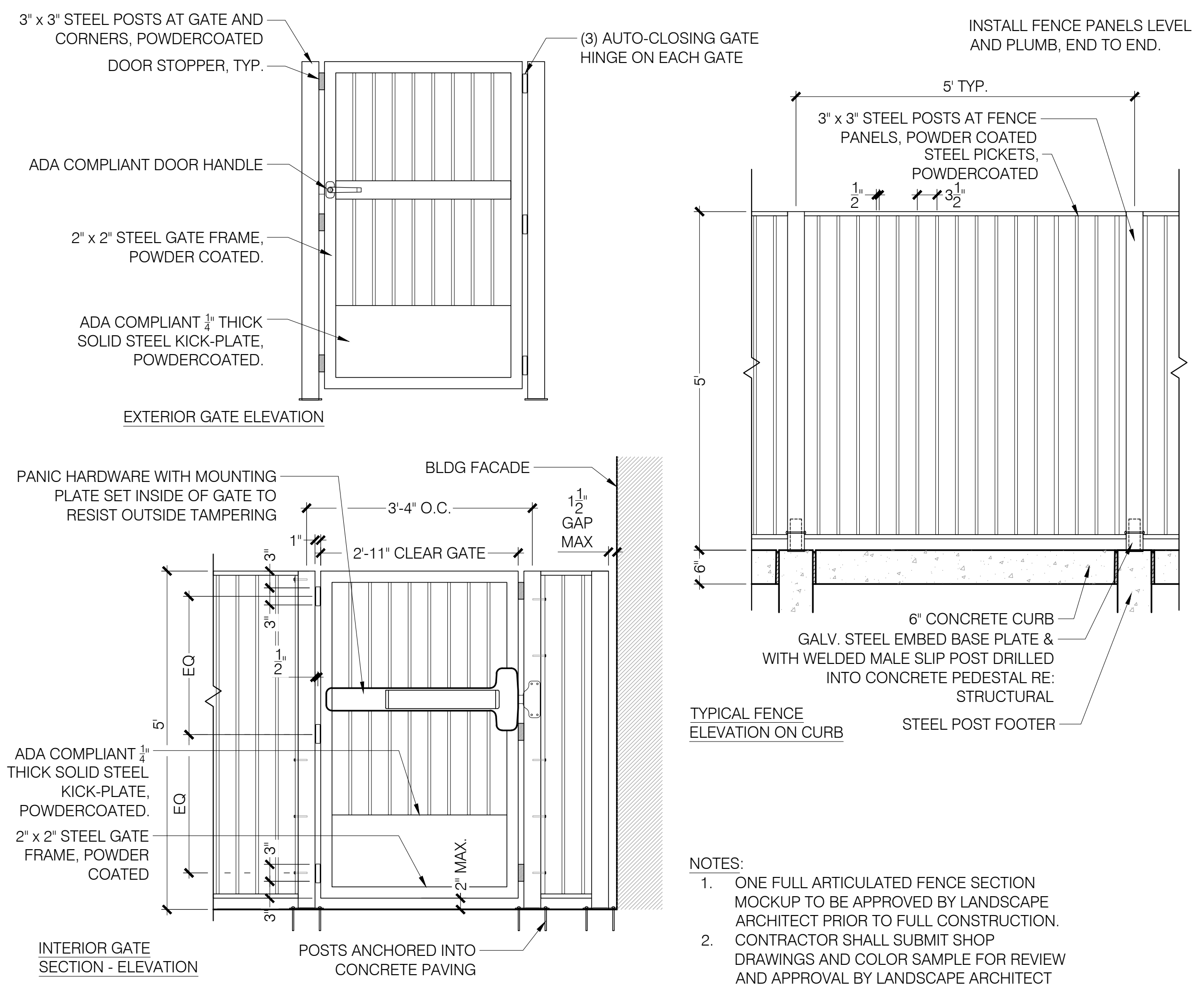
550 MCCASLIN BLVD  
LOUISVILLE, CO 80027



NOTES:  
MANUFACTURER - RE: SPECS  
MODEL - RE: SPECS  
SIZE - RE: SPECS  
COLOR - RE: SPECS  
FILLING - RE: SPECS  
QUANTITY - 1

## 3 OUTDOOR CAFE RAILING

1" = 1'-0"

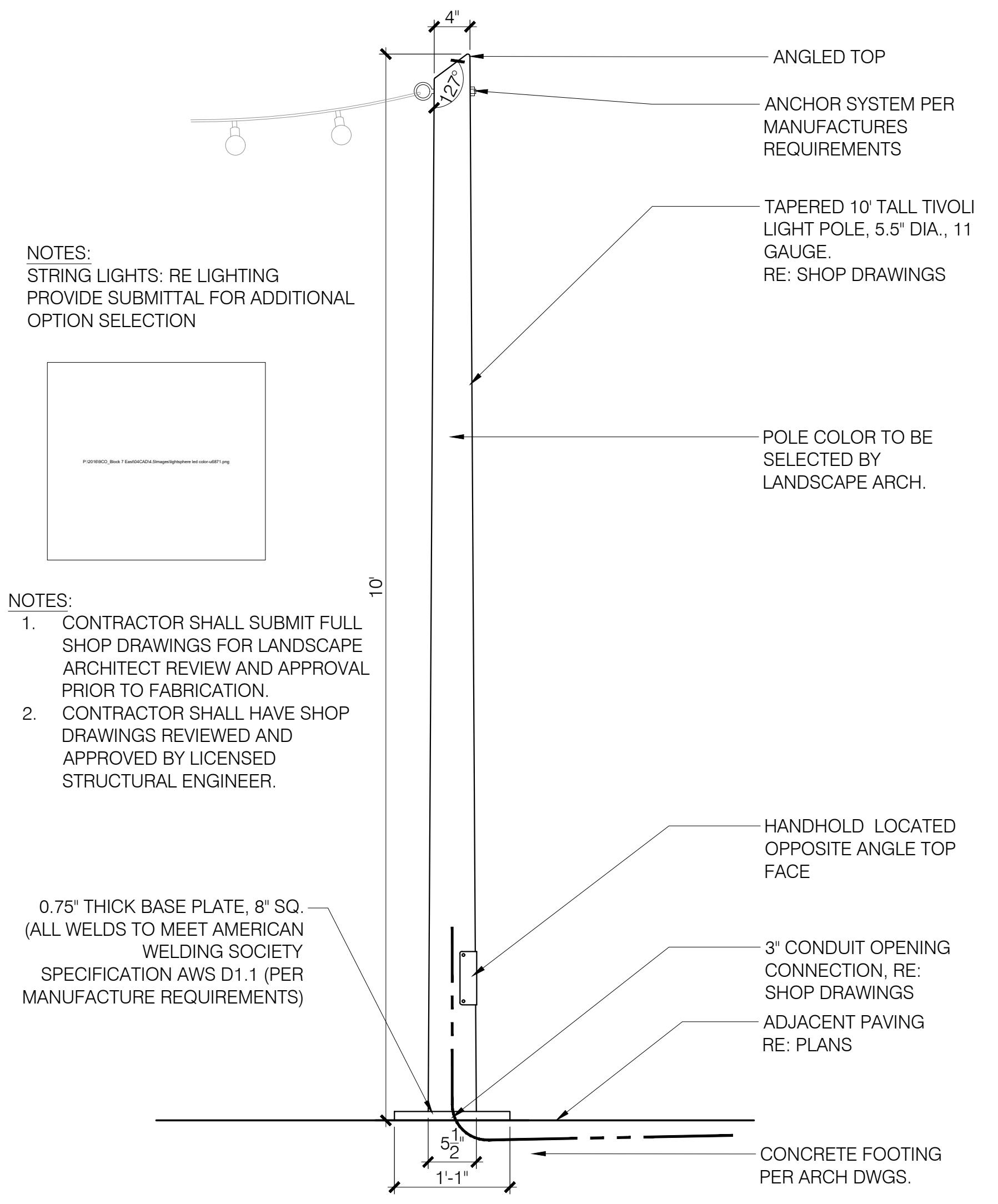


## 4 FENCE AND GATE

3/4" = 1'-0"

## 1 FIRE PIT

1" = 1'-0"



## 2 CATENARY LIGHT POLE

NOT TO SCALE

SUBMITTAL  
PUD AMENDMENT

DRAWN BY:  
CHECKED BY: MRB  
PROJECT NO.: 20-086-002

REVISIONS	

DATE  
**07/14/2023**

SHEET TITLE  
**LANDSCAPE SITE DETAILS**

SHEET INFORMATION

# ASCENT COMMUNITY CHURCH/RELISH

S ½ SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



## PLANTING NOTES

- All plant materials shall meet or exceed current American Standard for Nursery Stock (ANSI Z60.1-2004) and the Colorado Nursery Act and accompanying Rules and Regulations.
- All plants will be balled and burlapped or container grown. Bare root or spaded plants will not be accepted.
- Supply all plant material in quantities sufficient to complete the planting bed as shown on the drawings.
- All plants will be inspected and approved by the Owner's Representative prior to delivery to the site.
- Any proposed substitutions of plant species shall be approved by the Landscape Architect prior to delivery to the site.
- Obtain Landscape Architects approval of finish grading prior to the start of planting.
- Stake locations of all proposed trees and edges of new planting beds for approval by the Landscape Architect prior to the commencement of planting.
- Landscape Contractor shall be responsible for becoming aware of all underground utilities, pipes and structures. The Landscape Contractor shall be held responsible for contacting all utility companies for field location of underground utility lines prior to any excavation. Landscape Contractor shall take sole responsibility for any cost of utility repair due to damage caused by his operations.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- See specifications for planting requirements, soil preparation testing, materials and execution. Arrange for visit of Landscape Architect for review and approval a minimum of 48 hours prior to installation.
- See details and specifications for staking method, plant pit dimensions and backfill requirements.
- Landscape Contractor shall provide per-unit costs for every size of plant materials, and by type, as called out on planting plans. Unit cost to include the plant material itself and installation, including all labor, amendments, fertilizers, etc., as detailed and specified for each size.
- Landscape Contractor is responsible to do their own quantity takeoffs for all plant materials and sizes shown on plans.
- The Landscape Contractor shall be responsible for positive drainage throughout the site with accurately set flow lines. No low spots or ponding of surface water will be accepted in final work.
- Coordinate installation of large plant material with installation of wall footings, bridge abutments and pavements. Any damage to improvements by others is the responsibility of the Landscape Contractor.
- The Landscape Contractor shall allow for the addition of specified quantities of soil amendments, conditioners and mulch in soil preparation and finish grading.
- Imported soil shall be used to supplement the existing soil as necessary to meet the finish grade requirements at planting areas.
- The Landscape Contractor shall verify soil test at his expense prior to planting and will follow test recommendations and Landscape Architect's approval for soil amendments. The Landscape Contractor shall receive the specified subgrade elevation, of +/- one tenth of a foot below finish grade.
- The Landscape Contractor shall be responsible to furnish and install amended or imported soil in any planting areas as necessary to achieve the specified finish planting grades unless otherwise noted on plans or specs.
- The Landscape Architect reserves the right to adjust the location of plant material during installation as appropriate to the project. For trees in the right-of-way by Builder or Contractor, adjustments of 5'-0" or more must have prior authorization of Landscape Architect.
- Contractor is to familiarize himself with the layout, grading and civil engineering documents to coordinate actual location of trees and shrubs.
- Maintenance Statement: All landscaping shown on this plan shall be maintained in a neat and adequate manner. Required maintenance activities shall include, but not limited to, mowing of lawns, trimming of hedges, adequate irrigation, replacement of dead, diseased or unsightly landscaping, removal of weeds from planted areas, and appropriate pruning of plant materials.
- Take dimensions from back of curb, center line of trees, and centerline of light pole bases, unless otherwise noted.
- Take all dimensions perpendicular to any reference line, centerline, or back of curb.
- Written dimensions supersede scaled dimensions. Do not scale drawings, if there is a question regarding dimension, contact Landscape Architect for verification.
- All landscaped areas shall be irrigated with an automatic irrigation system. Lawn areas will be sprayed and shrubs will be drip irrigated. Natural areas, such as those with prairie types of grasses and native shrub species, are designed to irrigate through grow-in and then be shut off except during severe drought. Contractor shall be responsible for taps, backflow prevention and winterization systems, sleeving under paved areas and all sprinkler system components necessary for a fully functional system. Trees shall be on a separate zone from turf.
- Street Trees shall be placed 5'-0" min from buried utilities.
- All proposed landscaping in the right-of-way shall be per the City of Longmont Standards. Trees to be in accordance with current City of Longmont Standards including approved species; family, genus and species quantity and percentage limits; and limitations on the quantity of same-species trees in a row. Installation of trees in right-of-way to be per City of Colorado Springs detail.
- Proposed trees in the right-of-way shall be pre-approved by the Landscape Architect and shall be a minimum of 20' from property corners at intersections, 20' from street lights, outside of 30' corner sight triangles and 10' from edge of driveways, alleys and hydrants.

## PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
		183	EXISTING TREE TO REMAIN		
		183	-		
		10	EXISTING TREE (TO BE REMOVED)		
		10	-		
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	ACE ABZ	4	ACER X FREEMANII 'JEFFERSRED' AUTUMN BLAZE® FREEMAN MAPLE	2 1/2" CAL	
	QUE BIC	2	QUERCUS BICOLOR SWAMP WHITE OAK	2 1/2" CAL	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	MAL PRA	4	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRABAPPLE	2" CAL / MULTI	
	MAL SPR	17	MALUS X 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" CAL / MULTI	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
		3,319 SF	PERENNIAL, SHRUB, GRASS MIX		
	AMS JN2		AMSONIA JONESII JONES' BLUESTAR	5 GAL	8% @ 36" o.c.
	ARC PA2		ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO' PANCHITO MANZANITA	5 GAL	7% @ 48" o.c.
	ART FR2		ARTEMISIA FRIGIDA FRINGED WORMWOOD	1 GAL	8% @ 18" o.c.
	BOU BL2		BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	1 GAL	8% @ 18" o.c.
	CAR EB2		CAREX EBURNEA BRISTLELEAF SEDGE	1 GAL	8% @ 12" o.c.
	DAP BU2		DAPHNE X BURKWOODII 'CAROL MACKIE' CAROL MACKIE DAPHNE	5 GAL	7% @ 36" o.c.
	NAS TE2		NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL	8% @ 18" o.c.
	PEN MK2		PENSTEMON STRICTUS 'WWG06' BLANCA PEAK™ MOUNTAIN PENSTEMON	1 GAL	8% @ 15" o.c.
	PEN XR2		PENSTEMON X MEXICALI 'P008S' RED ROCKS® PENSTEMON	1 GAL	8% @ 18" o.c.
	PRU PA2		PRUNUS BESSEYI 'P011S' PAWNEE BUTTES® SAND CHERRY	1 GAL	7% @ 48" o.c.
	RUD DE2		RUDBECKIA HIRTA 'DENVER DAISY' DENVER DAISY BLACK-EYED SUSAN	1 GAL	8% @ 18" o.c.
	SCH JA3		SCHIZACHYRIUM SCOPARIUM 'JAZZ' JAZZ LITTLE BLUESTEM	1 GAL	8% @ 18" o.c.
	THU HE2		THUJA OCCIDENTALIS 'HETZ MIDGET' HETZ MIDGET ARBORVITAE	5 GAL	7% @ 24" o.c.

### PROJECT TITLE

ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

### PREPARED FOR

ASCENT COMMUNITY CHURCH

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

### SUBMITTAL

PUD AMENDMENT

DRAWN BY:  
CHECKED BY: MRB  
PROJECT NO.: 20-086-002

### REVISIONS

NO.	DESCRIPTION	DATE

### DATE

07/14/2023

### SHEET TITLE

LANDSCAPE PLANTING SCHEDULE + NOTES

### SHEET INFORMATION



# ASCENT COMMUNITY CHURCH/RELISH

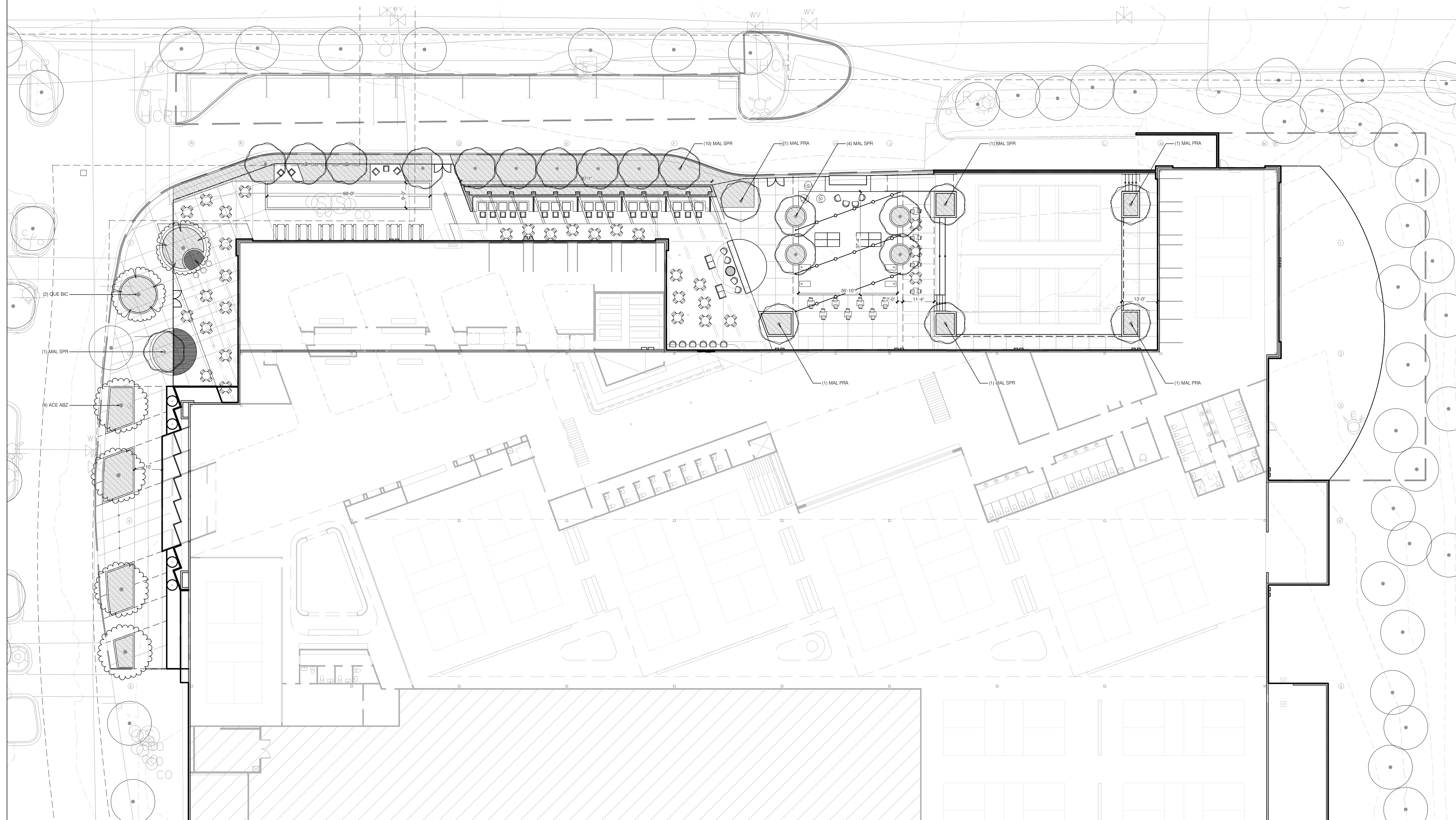
S ½ SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT TITLE  
**ASCENT COMMUNITY CHURCH**

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027

PREPARED FOR  
**ASCENT COMMUNITY CHURCH**

550 MCCASLIN BLVD  
LOUISVILLE, CO 80027



## PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
		183	EXISTING TREE TO REMAIN	
		183	-	
		10	EXISTING TREE (TO BE REMOVED)	
		10	-	
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	ACE ABZ	4	ACER X FREEMANI 'JEFFERSRED' AUTUMN BLAZE® FREEMAN MAPLE	2 1/2' CAL
	QUE BIC	2	QUERCUS BICOLO'R SWAMP WHITE OAK	2 1/2' CAL
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	MAL PRA	4	MALLUS X PRARIFRERE PRARIFRERE CRABAPPLE	2' CAL / MULTI
	MAL SPR	17	MALLUS X SPRING SNOW SPRING SNOW CRABAPPLE	2' CAL / MULTI
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
		3,319 SF	PERENNIAL SHRUB GRASS MIX	
	AMS JN2		AMSONIA JONESII JONES' BLUE STAR	5 GAL
	ARC PA2		ARCTOSTAPHYLOS X COLORADENSIS PANCHITO	5 GAL
	ART FR2		PANCHITO MADONNA ARTEMISIA FRIGIDA	1 GAL
	BOU BL2		FRINDED WORMWOOD BOULEADIA GRACILIS BLONDE AMBITION	1 GAL
	CAR ER2		BLONDE AMBITION BLUE GRAMA CAREX EUBURICA	1 GAL
	DAP BL2		BRISTLELEAF SEDGE DAPHNE X BURKWOODII CAROL MACKIE	5 GAL
	NAS TE2		CAROL MACKIE DAPHNE NASSELLA TENNESSEANA	1 GAL
	PEN MK2		MEXICAN FEATHER GRASS PENSTEMON STRICTUS WINGOT	1 GAL
	PEN XR2		BLANCA FEA™ MOUNTAIN PENSTEMON PENSTEMON X MEXICALI POOBS	1 GAL
	PRU PA2		RED ROCKSIS PENSTEMON PRUNUS BESSEYI P1013	1 GAL
	RUD DE2		PANNEE BUTTE™ SAND CHERRY RUBISCOXIA HIRTA DENVER DASY	1 GAL
	SOH JA3		DENVER DASY BLACK EYED SUSAN SCHIZACHYRIUM SCOPARUM JAZZ	1 GAL
	THJ HE2		JAZZ LITTLE BLUESTEM THALIA OCCIDENTALIS HETZ MIDGET	5 GAL
			HETZ MIDGET ARBORVITAE	

SUBMITTAL  
**PUD AMENDMENT**

DRAWN BY:  
CHECKED BY: MRB  
PROJECT NO.: 20-086-002

REVISIONS

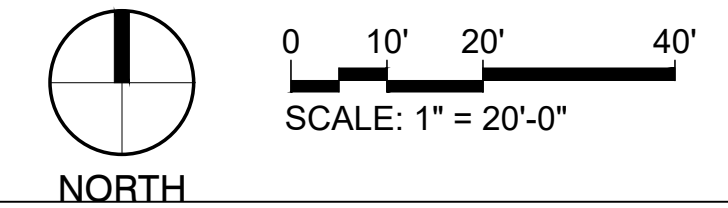
NO.	DATE	DESCRIPTION

DATE  
**07/14/2023**

SHEET TITLE  
**LANDSCAPE PLANTING PLAN**

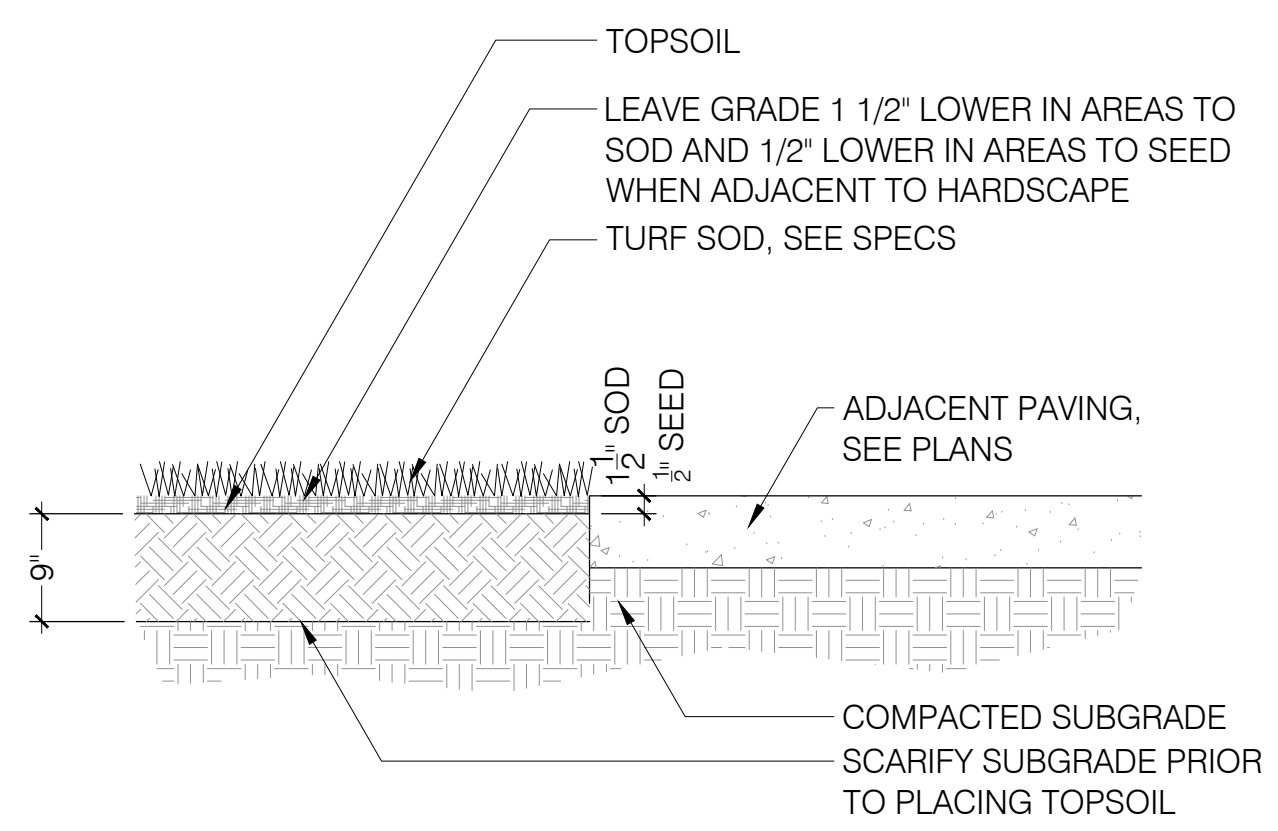
SHEET INFORMATION

**1** NORTH PATIOS AND EVENT SPACE  
SCALE: 1" = 20'-0"



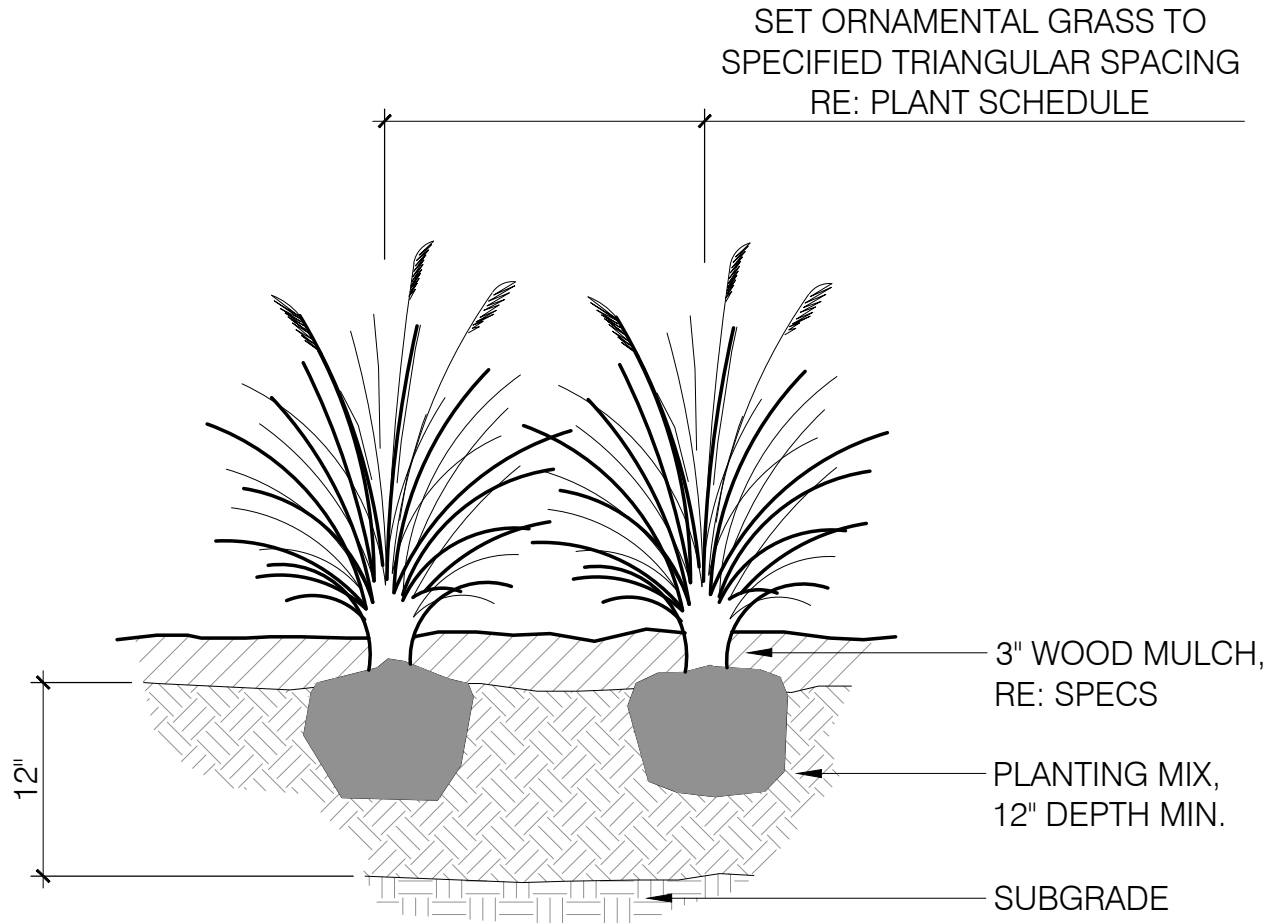
# ASCENT COMMUNITY CHURCH/RELISH

S 1/2 SECTION 18, TOWNSHIP 1 SOUTH, RANGE 69 WEST, 6TH P.M.  
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



**1** TURF PLANTING

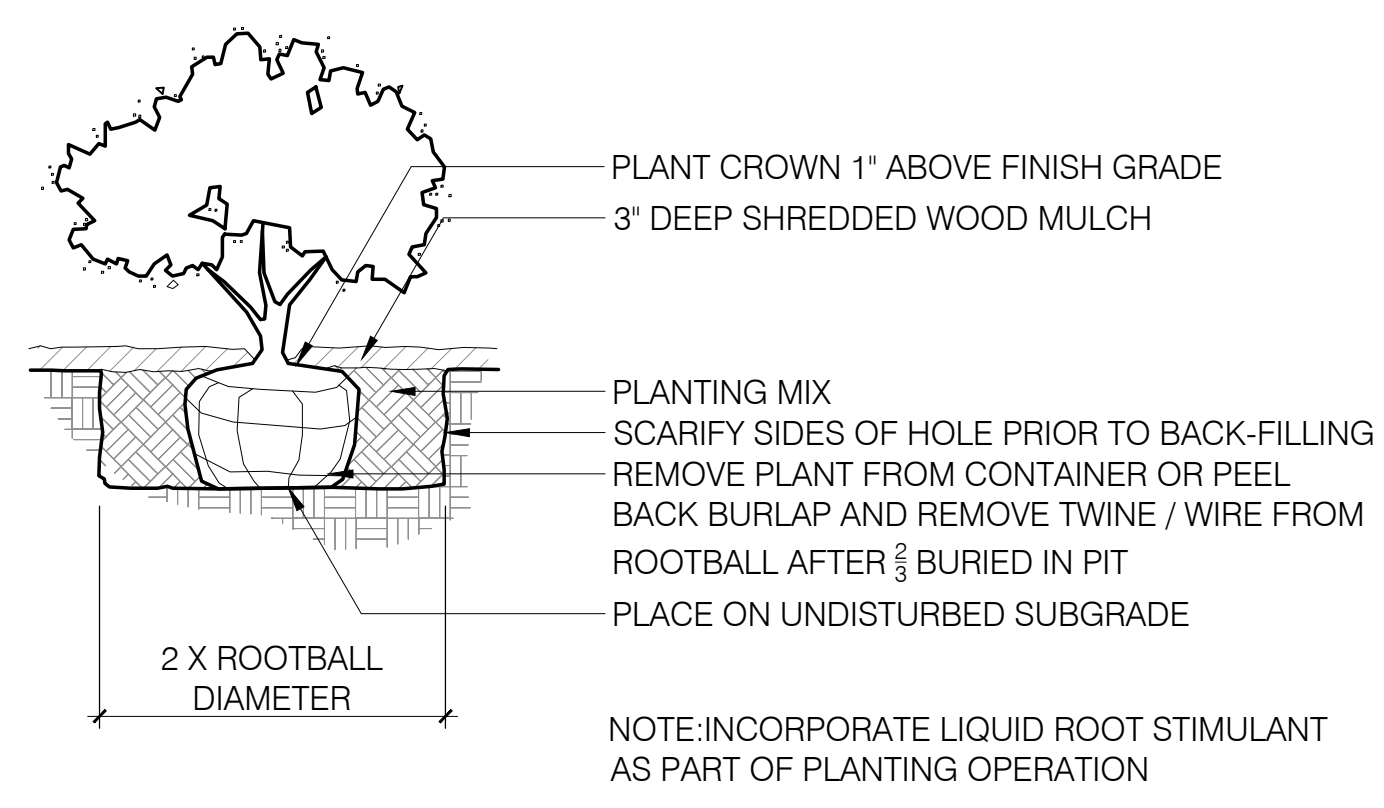
3/4" = 1'-0" P-REL-01



**2** ORNAMENTAL GRASS PLANTING

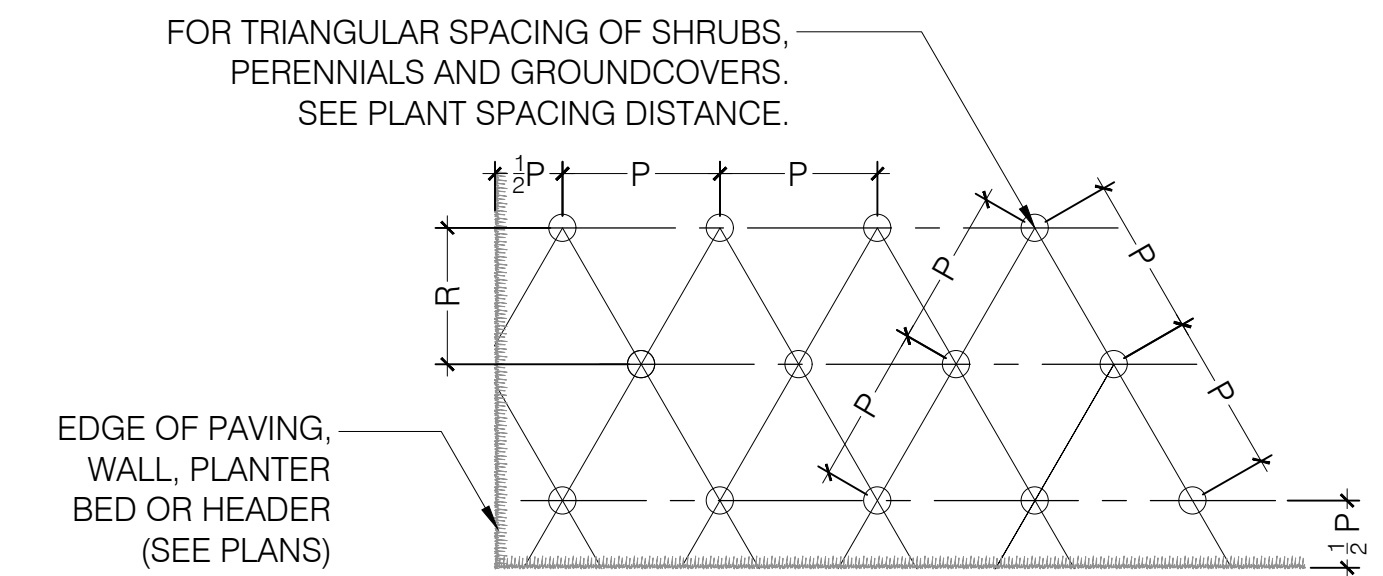
1" = 1'-0" P-REL-02

P	R	AREA PER PLANT
TRIANGULAR	ROW	SQ.FT.
4"	3 7/16"	.096
6"	5 1/4"	.22
8"	7"	.385
10"	8 3/4"	.60
12"	10 3/8"	.87
18"	1'-3 3/8"	1.95
24"	1'-8 3/4"	3.46
30"	2'-2"	5.42
3'	2'-7"	7.80
4'	3'-5 1/2"	13.84
5'	4'-4"	21.65
6'	5'-2 3/8"	31.20



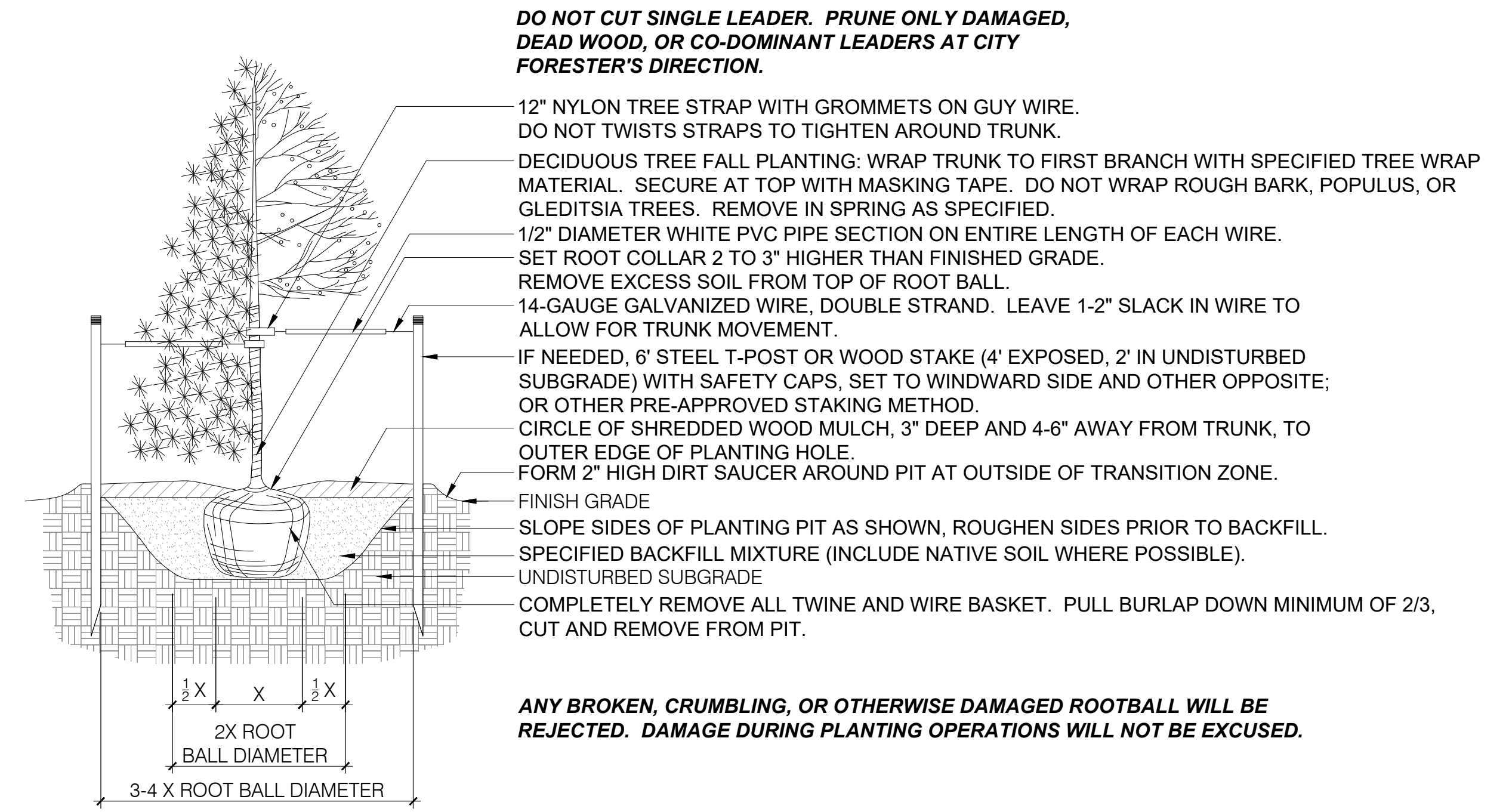
**3** SHRUB PLANTING

1/2" = 1'-0"



**4** SHRUB AND PERENNIAL SPACING

3/8" = 1'-0" P-REL-04



**TREES PLANTED UPON PARK LAND, PUBLIC PROPERTY, OR WITHIN THE PUBLIC RIGHT OF WAY (PRW) ARE SUBJECT TO THE FOLLOWING RESTRICTIONS:**

- AN APPROVED PLANTING PERMIT FROM THE OFFICE OF THE CITY FORESTER, REGARDLESS OF APPROVED PLANS, IS REQUIRED PRIOR TO PLANTING.
- ADMINISTRATIVE CITATIONS UP TO \$999 SHALL BE ISSUED FOR TREES PLANTED WITHOUT AN OFFICE OF THE CITY FORESTER ISSUED PERMIT.
- ONLY TREES FROM DENVER FORESTRY'S APPROVED STREET TREE LIST OR TREES APPROVED BY THE CITY FORESTER'S OFFICE SHALL BE PLANTED IN THE PRW.
- FOR A LIST OF PROHIBITED OR SUSPENDED PRW TREES, SEE DENVER FORESTRY WEBSITE OR CALL THE FORESTRY OFFICE.
- IF OVERHEAD UTILITY WIRES EXIST IN THE PRW, ONLY ORNAMENTAL OR TREES MATURING AT 20 (TWENTY) FEET MAXIMUM HEIGHT SHALL BE PLANTED.
- TREES SHALL BE CENTERED IN TREE LAWNS AND/OR PLANTING AREAS.
- TREES SHALL NOT BE PLANTED IN TREE LAWNS LESS THAN FIVE FEET WIDE.
- WHERE SIDEWALKS ARE NOT PRESENT, TREES SHALL BE LOCATED AS DESIGNATED BY DENVER FORESTRY.
- PLANTING IN CORNER TRIANGLE FORMED BY THE FIRST 30 (THIRTY) FEET ALONG THE PRW LINE IN EACH DIRECTION FROM THE CORNER IS NOT PERMITTED.
- PLANTING WITHIN 10 (TEN) FEET OF ALLEYS, DRIVEWAYS, OR FIRE HYDRANTS IS NOT PERMITTED.
- PLANTING WITHIN 20 (TWENTY) FEET OF STOP SIGNS IS NOT PERMITTED.
- PLANTING WITHIN 25 (TWENTY-FIVE) FEET OF STREET LIGHTS IS NOT PERMITTED.
- PLANTING WITHIN FIVE FEET OF WATER METERS OR PITS IS NOT PERMITTED.
- LARGE SHADE TREES SHALL BE SPACED 35 (THIRTY-FIVE) FEET O.C. AND ORNAMENTAL TREES 25 (TWENTY-FIVE) FEET O.C. OR AS DESIGNATED BY FORESTRY.
- TREES SHALL BE PRUNED TO MAINTAIN A CLEARANCE OF 13'-6" OVER STREETS AND ALLEYS AND EIGHTY INCHES OVER REMAINING PORTIONS OF PRW, INCLUDING SIDEWALK.

**PRIOR TO DIGGING, THE UTILITY NOTIFICATION CENTER OF COLORADO SHALL BE CONTACTED AT 811 TO LOCATE UNDERGROUND UTILITIES.**

**STANDARD TREE PLANTING DETAIL FOR SOD AREA OR TREE LAWN**  
DATE: 7/16/14

**5** TREE PLANTING DETAIL

6" = 1'-0"

REVISIONS

NO.	DESCRIPTION	DATE

DATE

07/14/2023

SHEET TITLE

LANDSCAPE PLANTING DETAILS

SHEET INFORMATION