



City Council

February 7, 2023
Packet Addendum #1

From: [Mark Cathcart](#)
To: [City Council](#)
Subject: Tuesday, February 7, 2023 - Item 9A - North End Block 11
Date: Monday, February 6, 2023 1:01:51 PM

Mayor, City Council,

As you consider this application, there are a number of questions you should ask yourselves, or perhaps the applicant.

1. Will the applicant be moving Markel/Ridgeline Development companies to the commercial building on this lot? They said they would at the two prior applications. If not now, why not?
2. The applicant has requested to subdivide the lot into three separate lots. The applicant didn't apply for the lot to be subdivided in their first three applications for this development, why now and why not when each lot or phase is completed?
3. If successful in subdividing the lot, will the council have any control over the order the lots are developed, or even the owners of the individual lots?
4. The council previously required the commercial development and infrastructure to be built first. If the commercial lot is sold, does the council have any ability to require the new owner or any other city council conditions to be met?
4. The applicant is requesting a fee-in-lieu for the affordable housing component. Is this the best solution that this development can achieve for the city?

Make no mistake, I, and I assume most of the residents of North End Phase II want this lot developed. It has been an eyesore for us and the city for too long, and the applicant has failed to live up to their promises to those of us who bought dirt lots, or custom homes from the applicant's sales team.

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++Mark.

<https://ctproduced.com>
<https://markcathcart.com/about/>

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BOULDER COUNTY'S LOCAL BUILDER

- Family-Owned Since 1973
- Trust and Customer Service
- Design-driven
- 2021 USGBC Leadership Award for Outstanding Commitment to Advancing Green Building
- **Marshall Home Rebuild** // working directly with families and individuals affected by the Marshall Fire to rebuild and restore and get them back home as soon as possible.

DECADES IN THE MAKING

- Began in 2006
- 5 Planning Areas – this is the last to be built
- Envisioned as mixed-use
- 350 total dwelling units – final 38 here
- Over 25% of the total land area dedicated to open space
- Neighborhood-serving commercial
- Sustainable Infill



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North End Market

Affordable Housing Fee In-lieu

City Council to consider whether the proposal will:

1. Result in more **affordable housing**, providing more of a benefit to the City
2. **Practical difficulties** prevent inclusion of affordable units on-site
3. Better **benefit the inhabitants**
4. Any **other factors** that may be relevant

 MarkelHomes

North End Market

More Affordable Housing

1. Affordable housing can be constructed at a greater volume when an entire project is designed for that purpose
 - Housing authorities and specialized affordable housing developers have better access to subsidies and grants
 - Special financing opportunities

Practical Difficulties

2. Timing of previous approvals
 - NE has been entitled and financed for years as market rate, prior to this adoption of this requirement

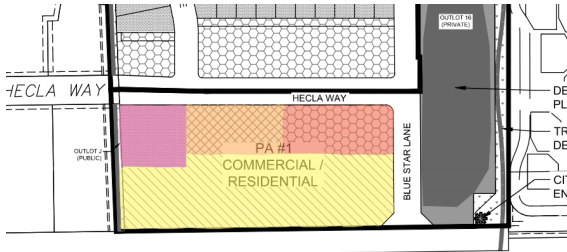
Benefit to Inhabitants

3. Providing affordable units in this development would increase the price of all other units
 - Goal of this project is to provide “attainable” housing, not high-end price points

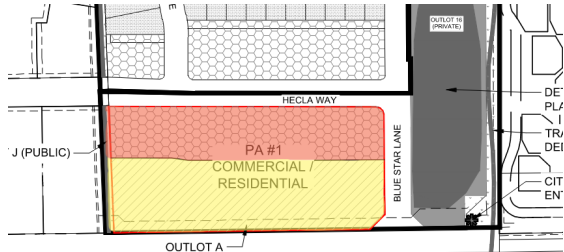
Other Factors

4. Cost of construction has increased dramatically in the last several years
 - Better economies of scale are available when building an entire project

GDP AMENDMENT



PREVIOUS PLAN

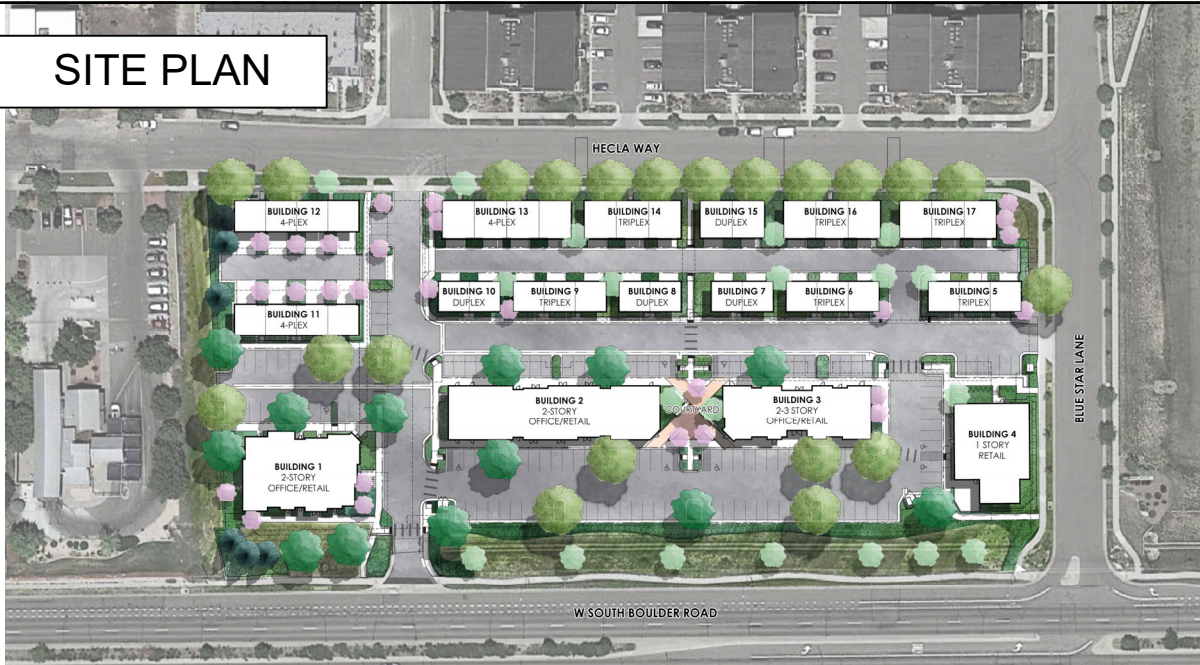


CURRENT PROPOSAL

LEGEND

SYMBOL	DESCRIPTION
	COMMERCIAL
	TOWN HOMES AND DUPLEX
	MULTI-FAMILY
	SINGLE FAMILY DETACHED

SITE PLAN

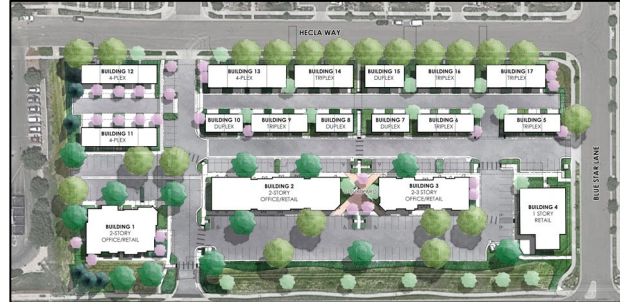


PREVIOUS PUD (2017)



PREVIOUS SITE PLAN

- 38 DWELLING UNITS
- +- 40,000 SF COMMERCIAL



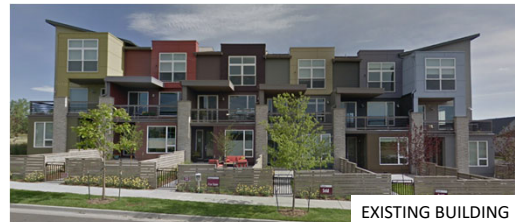
CURRENT PROPOSAL

- 38 DWELLING UNITS
- +- 40,000 SF COMMERCIAL

ARCHITECTURE



EXISTING BUILDING



EXISTING BUILDING



PROPOSED COMMERCIAL BUILDING



PROPOSED RESIDENTIAL BUILDING

Planning Commission Feedback

- Unanimous recommendation for approval
- Landscape Modifications for HOA
 - Low water species
 - Maintenance
 - Sustainability

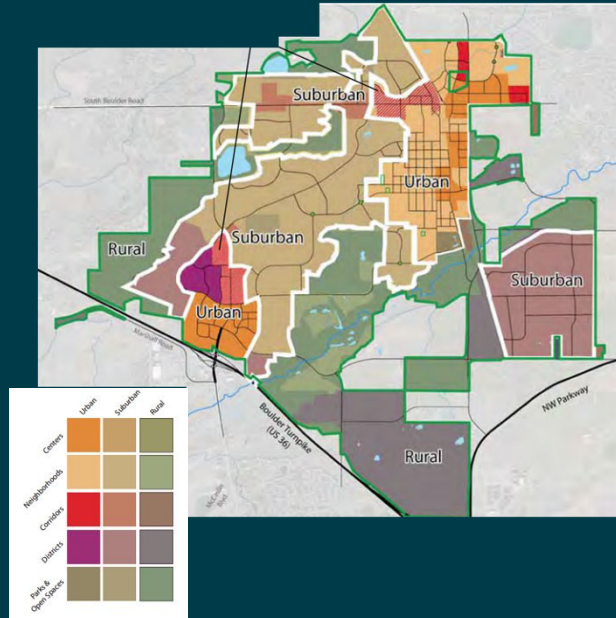
THANK YOU & QUESTIONS

 MarkelHomes.com



COMPREHENSIVE PLAN AND SMALL AREA PLAN COMPATIBILITY

-  Smaller blocks and parcels
-  Alley loaded properties
-  Multi-purpose, walkable development
-  Sidewalks and plazas to enhance pedestrian experience
-  Mix of residential and office/retail to provide services



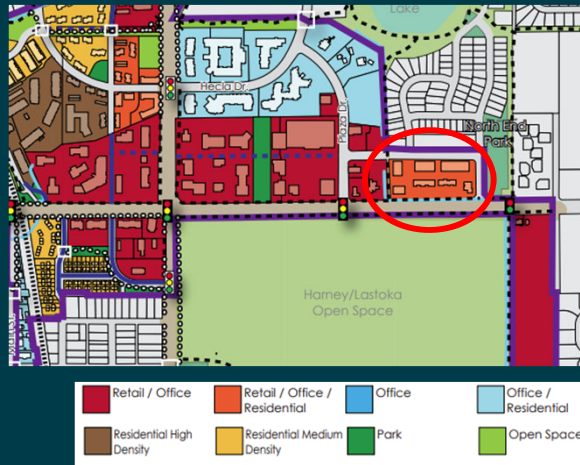
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SOUTH BOULDER ROAD SMALL AREA PLAN

South Boulder Road Community Design Principles

- Places to go and places to stay
- Easy to get to, easy to get around
- Knitting the community together
- Development that contributes

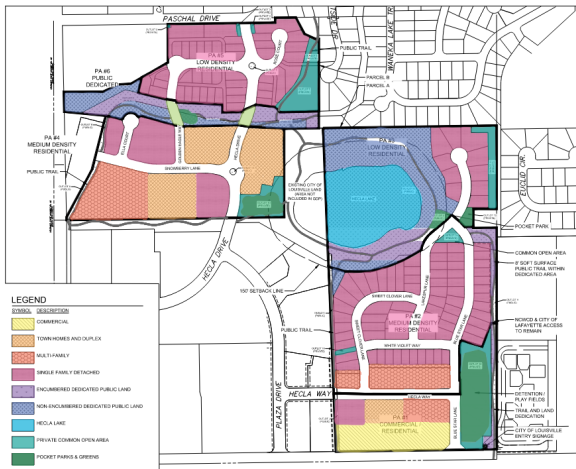


COMPREHENSIVE PLAN AND SMALL AREA PLAN COMPATIBILITY

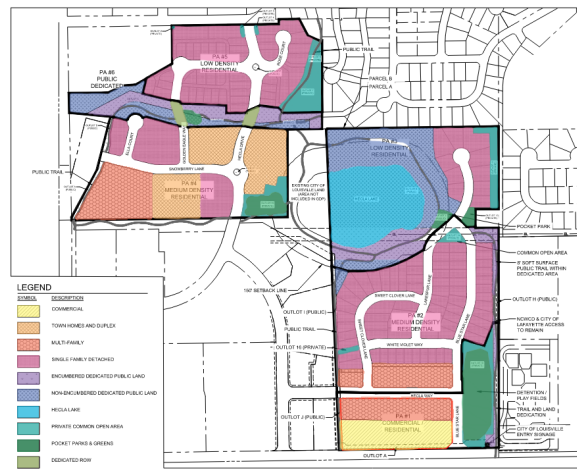
- Smaller blocks and parcels, alley loaded properties, and multi-purpose development as envisioned by the urban pattern area of the comprehensive plan.
- Sidewalks and plazas to enhance pedestrian experience.
- Mix of residential and office/retail to provide services to the community and encourage walkability.



GDP AMENDMENT

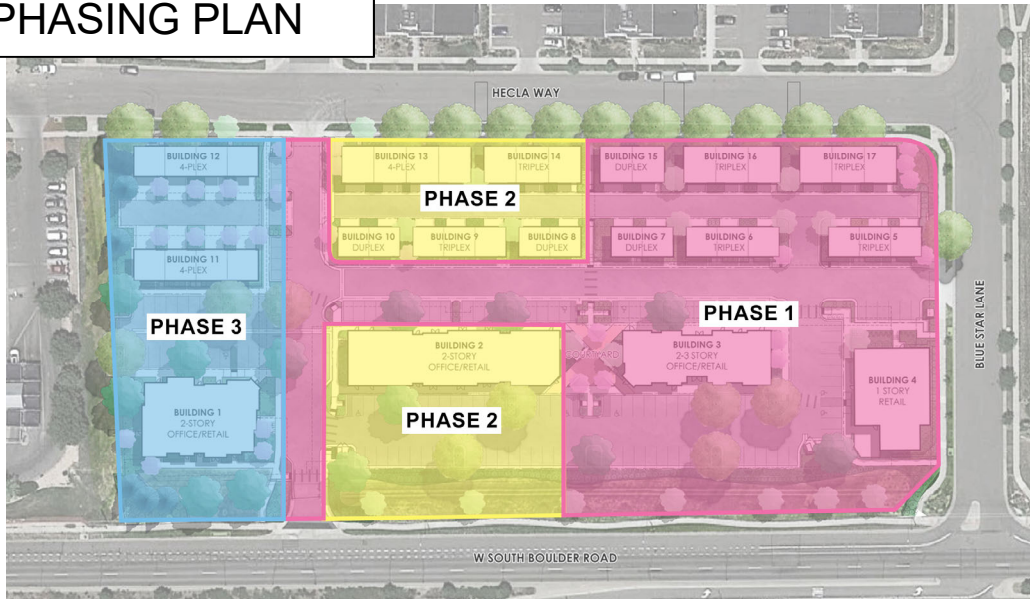


PREVIOUS PLAN



CURRENT PROPOSAL

PHASING PLAN



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BUILDING HEIGHT



BUILDING 3



BUILDING 13



BUILDING 14



BUILDING 17



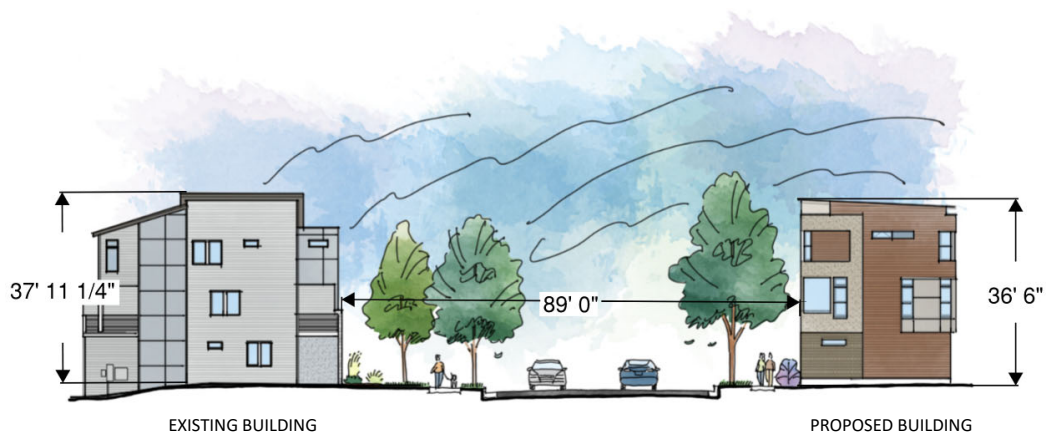
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COMMERCIAL BUILDINGS



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NEIGHBORING ARCHITECTURE



HECLA STREET SECTION



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ARCHITECTURE

DUPLEX



FARMHOUSE



MODERN

ARCHITECTURE

TRIPLEX



FARMHOUSE



MODERN

ARCHITECTURE

4-PLEX

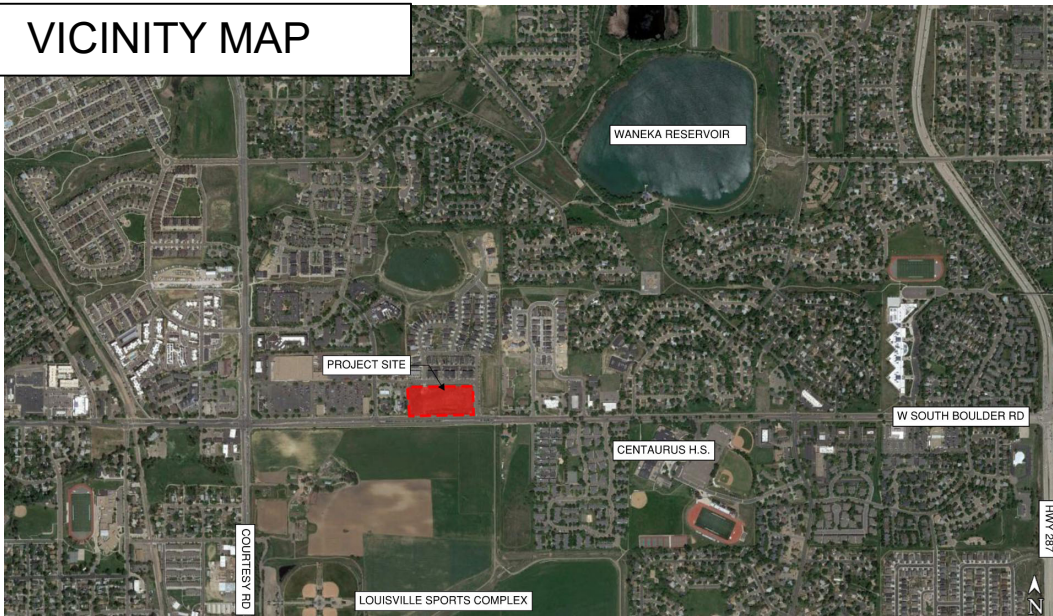


FARMHOUSE



MODERN

VICINITY MAP



TEAM

- Markel Homes
- Ripley Design
- MPD Engineering
- McDowell Transportation
- Local Construction Subconsultants

