

# SPECIAL REVIEW USE

1849 Cherry Street, Unit 8  
Cherry Park Business Center Condominiums  
Louisville, CO

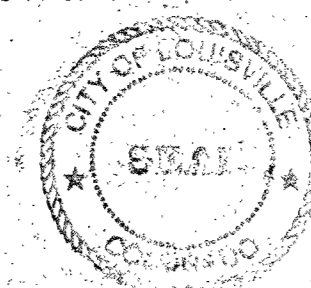
## REQUIRED PUD & SPECIAL REVIEW USE CERTIFICATES

### CITY COUNCIL CERTIFICATE

APPROVED THIS 13 DAY OF February, 2005 BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 16 SERIES 2005

[Signature]  
MAYOR

[Signature]  
CITY CLERK



### PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS 13 DAY OF January, 2005 BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 1 SERIES 2005

[Signature]  
CHAIRPERSON

[Signature]  
SECRETARY

### CLERK AND RECORDER CERTIFICATE (COUNTY OF BOULDER STATE OF COLORADO)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 10 O'CLOCK AM, THIS 13 DAY OF February, 2005 AND IS RECORDED IN PLAN FILE 16 FEE PAID FILM NO. RECEPTION

[Signature]  
RECORDER

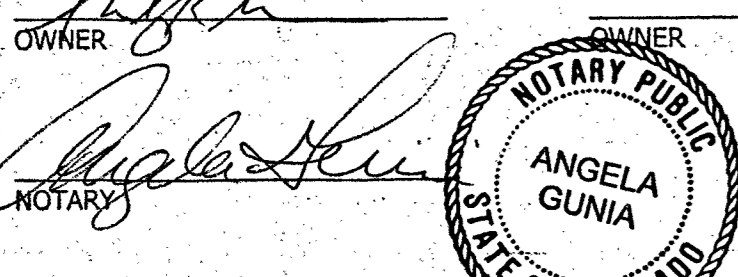
[Signature]  
DEPUTY

### OWNERSHIP SIGNATURE BLOCK

BY SIGNING THIS PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS PUD.

Witness our hands and seals this 2 day of MARCH, 2005.

[Signature]  
OWNER



### Special Review Use Notes

**A. Proposed Use:** The special use request is for a coffee shop in the lower level of the south end of unit 8. The shop would include 654 sq ft plus an access corridor to an existing restroom. There are currently no plans to incorporate the second floor (654 sq ft) into the coffee shop. We expect 100% of our client to come from within the Colorado Tech Center. By offering on-site services, we will reduce traffic in and out of the park.

**B. Hours of operation:** Anticipated hours of operation are from 7:00am to 3:00pm, Monday through Friday. We do not plan any evening or weekend operations. We expect as much as 50% of our business will occur between the hours of 7-9am, and most of this will be in the form of take-away.

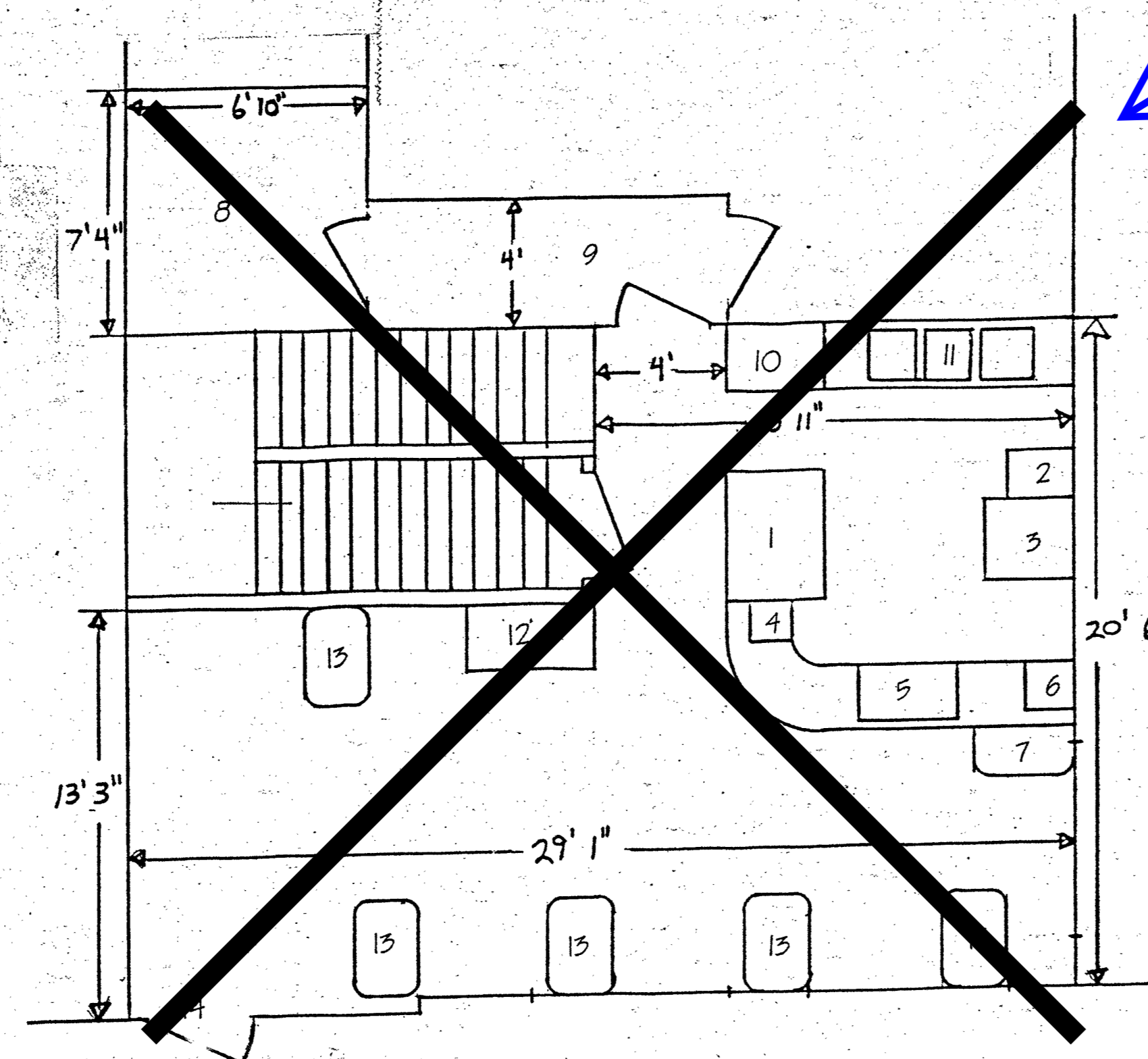
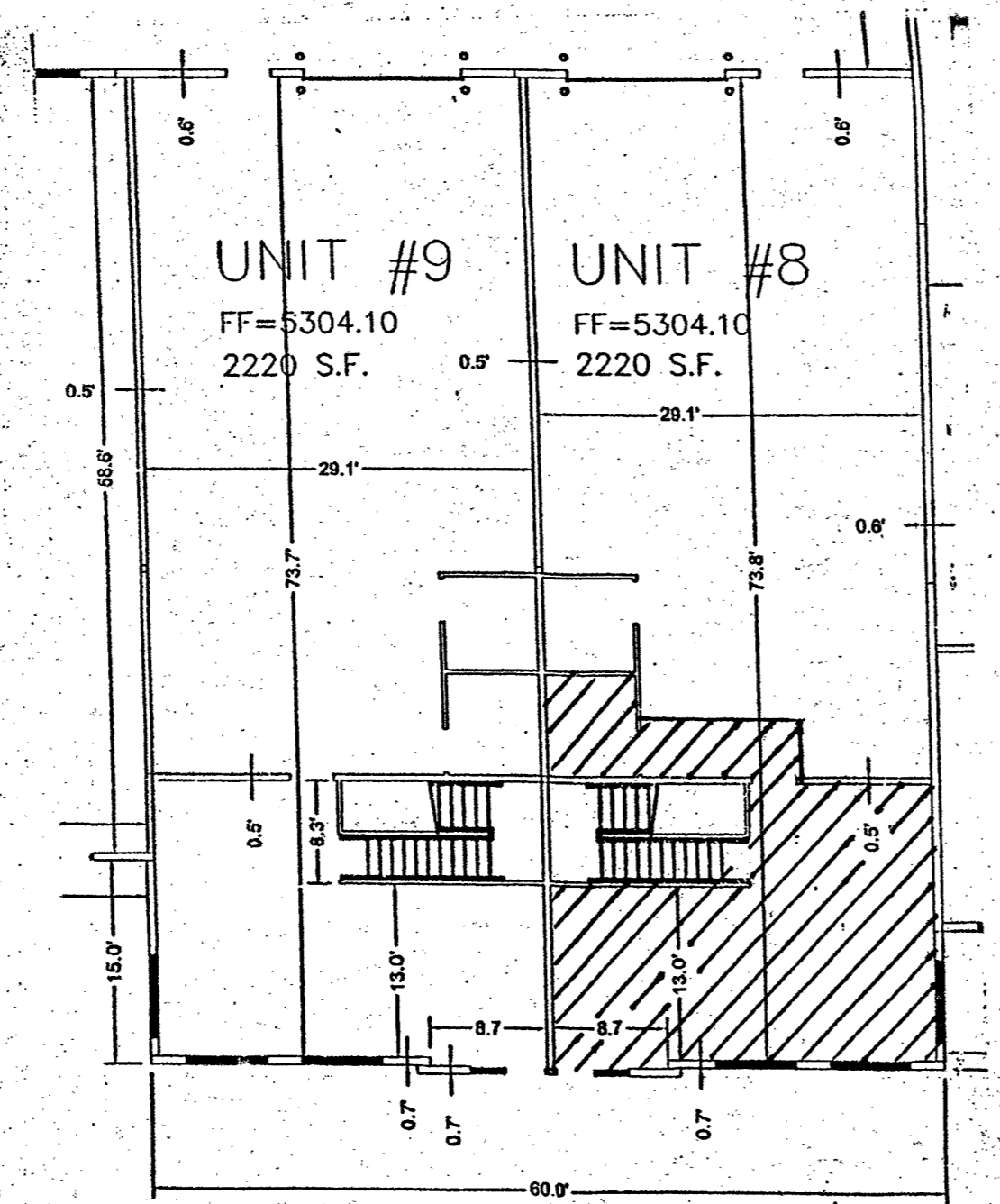
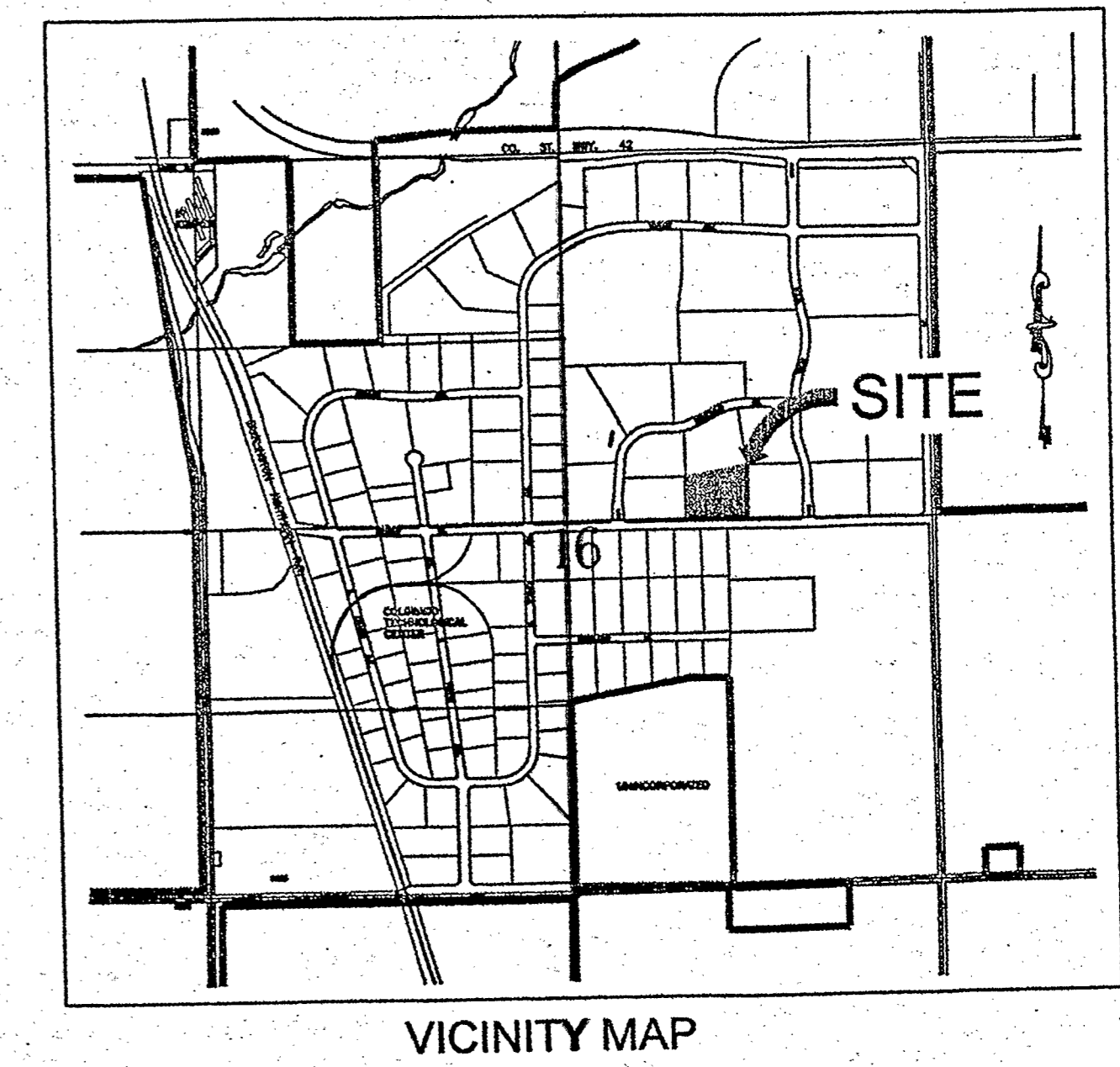
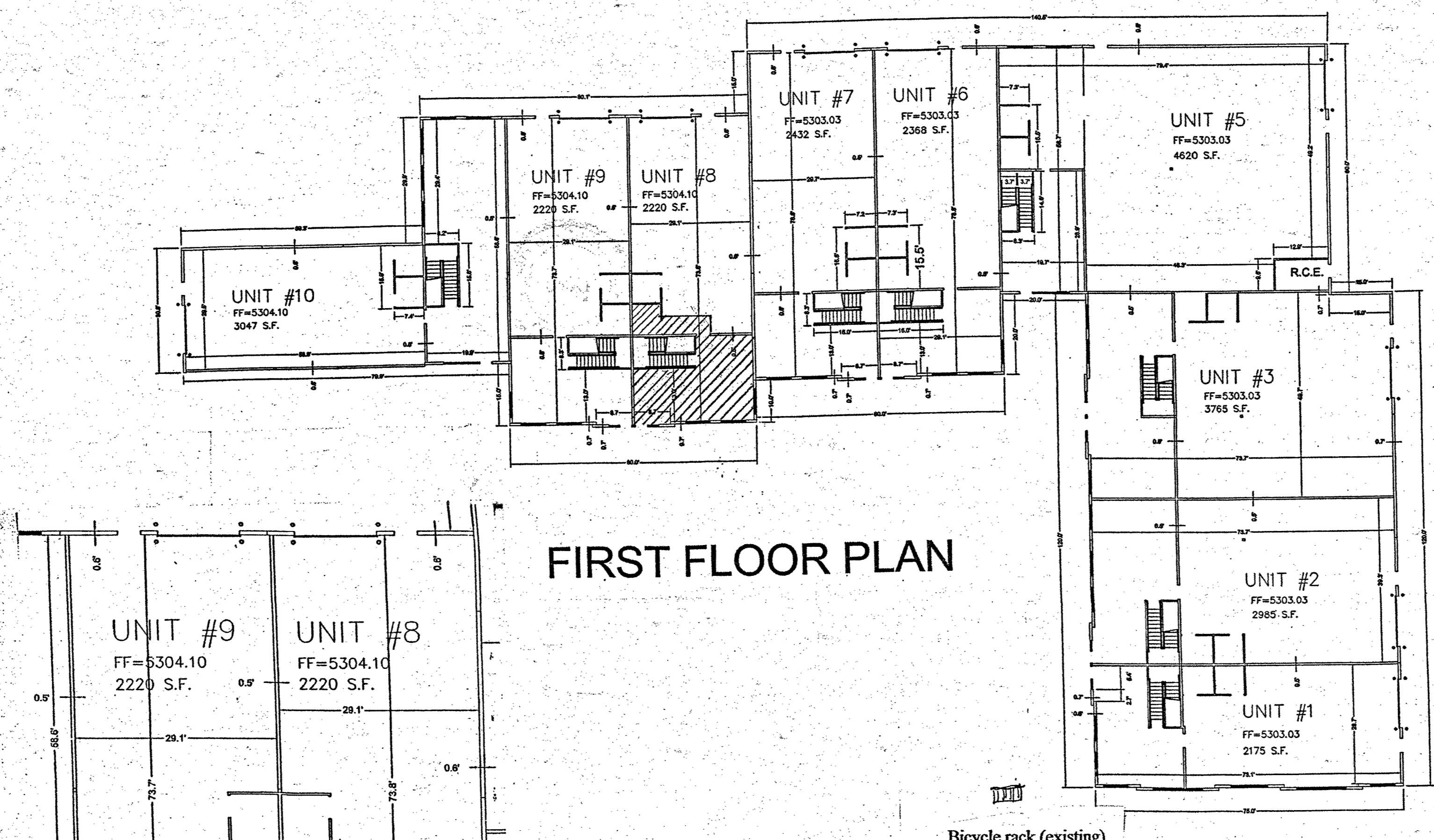
**C. Indoor seating:** The submitted conceptual floor plan includes 5 tables, providing seating for 5-20 customers. We anticipate as much as 90% of our trade will be take-away service, and tables are only provided as a convenience.

**D. Outdoor seating:** No outdoor seating is planned.

**E. Parking:** There are 93 spaces designated for employee use located around the perimeter of the building to the East, North, and West. There are a further 54 spaces plus 6 handicapped-accessible spaces designated as Visitor spaces on the South side of the building. Unit 8, 2874 sq ft, has a pro-rated share of 7.8 Employee parking spaces. A maximum of 4 spaces, all located on the North side of the building, would be used by employees of all businesses within unit 8. Our parking usage survey of 1849 Cherry St. indicates peak demand is currently less than 30 spaces, and often is less than 20. Allocating or assigning parking spaces has not been an issue to date as peak demand is around 20% of available spaces. Our expected maximum customer usage of 10 spaces would bring this peak demand to 27% of available spaces. All building occupants have been notified of our plans, and a supporting petition signed by most of the occupants is included in our submission. The condo association has verified that the proposed use is a permitted use as defined by the by-laws of the association.

Bicycle parking is available at a rack located 90 feet from the entrance to unit 8.

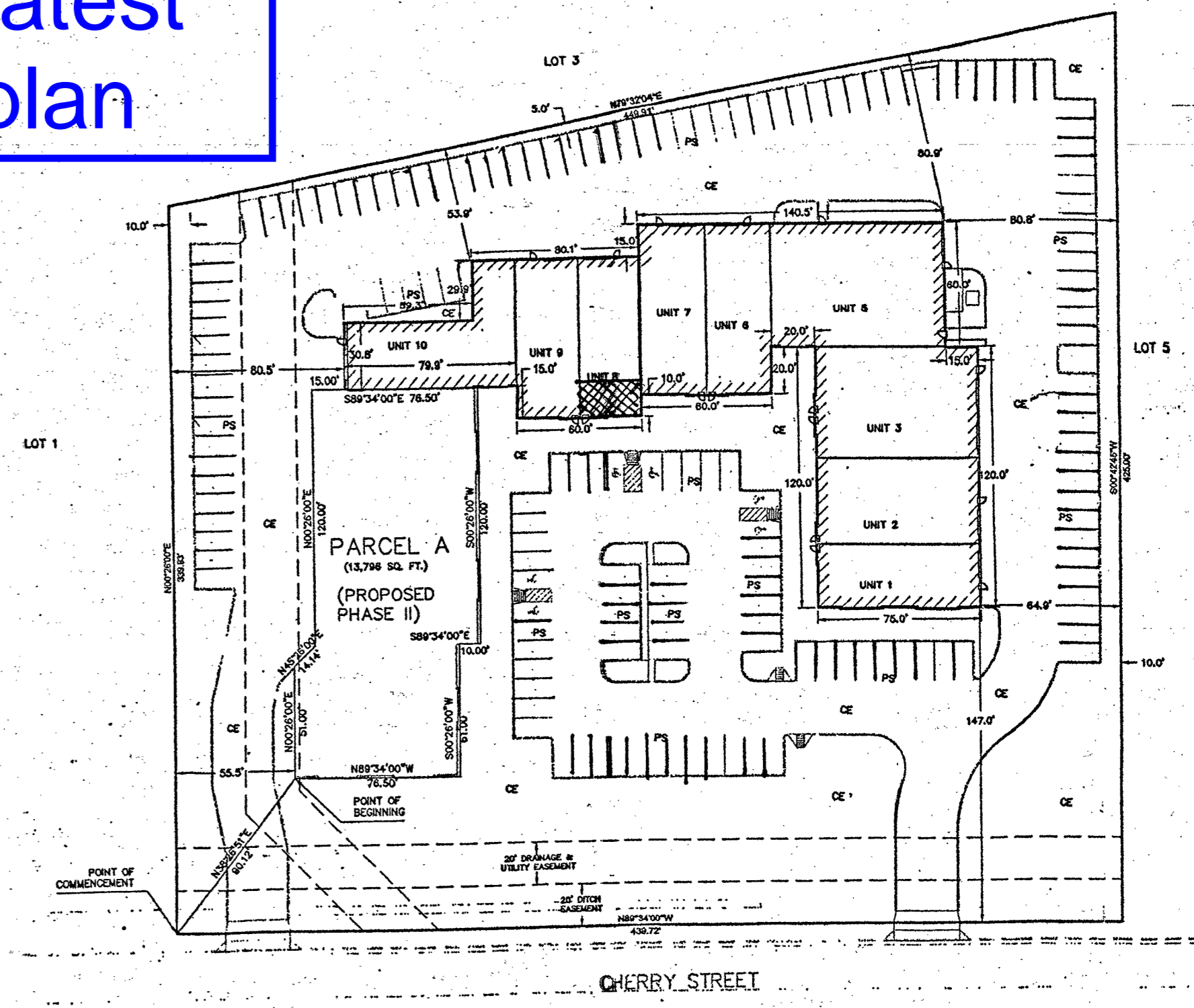
**F. Accessibility:** There are 6 designated ADA-compliant handicapped-accessible parking spaces available in the Visitor parking area. Unit 8 is accessible via an existing ADA-compliant ramp from the sidewalk.



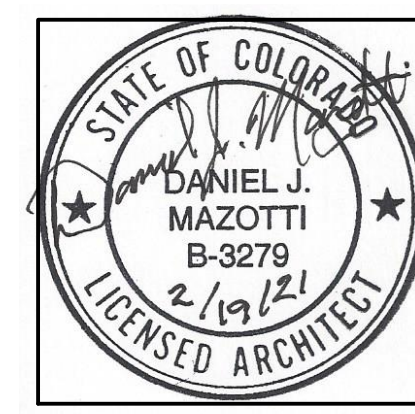
1. Deli/Pastry Case
2. Cookie Oven
3. Sandwich/ Bagel Prep Unit
4. Cash Register
5. Espresso Machine
6. Hand-Washing Sink
7. Drip Coffee/ Condiment Bar
8. Restroom (Unisex)
9. Restroom Access Corridor
10. Refrigeration Unit
11. 3-Tub Sink
12. Reach-in Drink Cooler
13. Tables
14. Front Door

SCALE 1/4" INCH = 1 FOOT

See sheet 2 for latest floor plan



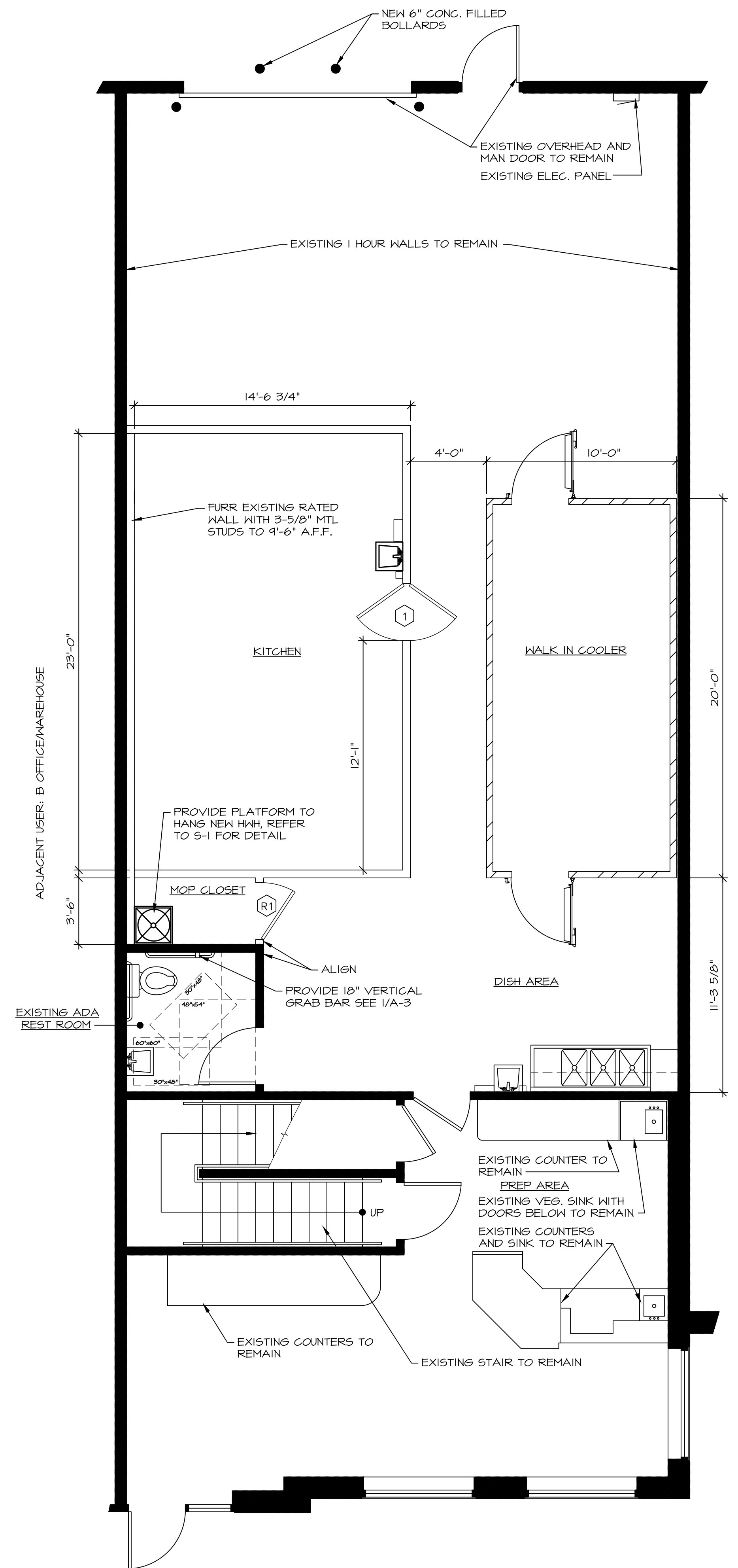
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF NEAR DESIGN AND PLANNING INC. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF NEAR DESIGN AND PLANNING INC. IS PROHIBITED. VIOLATIONS WILL BE ENFORCED AND PROSECUTED.



JOB NO.: 20-MC-003  
SCALE: 1/4"=1'-0"  
DATE: 2-15-21  
DRAWN: SLB  
CHECKED: EEN/DM  
REVISIONS:

APPROVED  
TENANT

SHT. NO.  
A-2



FRAMING PLAN

Provide cooler wall details and specifications on site at time of inspection

WALL TYPE	
EXISTING WALL REMAINS	▬
COOLER WALL	▨
NEW WALL - 3-5/8" MTL STUDS SPACE 20 GA. STUDS AT 24" O.C. W/ 5/8" GYP. BD. ON BOTH SIDES BUILD TO 9'-6" A.F.F.	

- NOTES:**
- BRACE NEW WALLS AS REQUIRED TO STRUCTURE AT CORNERS AND 48" O.C.
  - PROVIDE GREEN BOARD AT ALL WET LOCATIONS.
  - ALL WALLS 3-5/8" MTL STUDS W/ 5/8" GYP. BD. U.O.N.
  - DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL
  - PROVIDE CONCRETE AS REQUIRED ONCE PLUMBING IS IN PLACE, MATCH EXISTING
  - VERIFY THAT EXISTING EXIT DOORS HAVE SINGLE ACTION RELEASE FOR EXITING. PROVIDE PANIC HARDWARE AS REQUIRED.
  - ALL DIMENSIONS NEED TO BE FIELD VERIFIED, NOTIFY DESIGNER OF DISCREPANCIES PRIOR TO CONSTRUCTION.
  - ALL DISPENSERS SHALL BE MOUNTED AT A MAXIMUM OF 40" A.F.F. TO THE DISPENSING LOCATION.
  - PROVIDE SOAP, PAPER TOWEL, SANITIZER AND PAPER TOWEL DISPENSERS AT EACH HAND SINK
  - REWORK SPRINKLERS, EXIT AND EMERGENCY LIGHTING, FIRE ALARM SYSTEMS, AND EXIT SIGNAGE TO COMPLY WITH ALL APPLICABLE CODES, PROVIDE NEW AS REQUIRED. REFER TO GENERAL NOTES.
  - COORDINATE ANY NEW ROOF PENETRATIONS WITH OWNER AND OWNERS ROOFING CONTRACTOR PRIOR TO CUTTING THE EXISTING ROOF.
  - SEAL ALL NEW ROOF PENETRATIONS WATERTIGHT.
  - PROVIDE CURBS FOR NEW MECHANICAL EQUIPMENT PER MFGR RECOMMENDATIONS, SEAL TO ROOF WATER TIGHT

DOOR SCHEDULE										
DOOR	QUANT.	SIZE	CORE	SWING	DOOR FINISH	FRAME FINISH	CLOSURES		LOCKS	HARDWARE/NOTES
							YES	NO		
1	NEW	3'-0" x 7'-0"	ALUM	DBL	ALUM	SS	AUTO	--	PASS	SEE NOTES BELOW
(R1)	1	3'-0" x 7'-0"	SC	RH	EXIST.	RELOC. EXIST.	NO	HINGE	PASS	RELOCATE HARDWARE

- NOTES:**
- MFR REGENCY OR APPROVED EQUAL, PROVIDE WITH WINDOW
  - PROVIDE SELF CENTERING HINGES FOR DOOR
  - PROVIDE ALL NECESSARY HARDWARE COMPONENTS FOR INSTALLATION
  - DOOR OPENING TO BE 36"x84", WRAP DOOR OPENINGS WITH STAINLESS STEEL, ALL SIDES
  - COORDINATE TYPE AND STYLE OF DOOR WITH OWNER PRIOR TO ORDERING

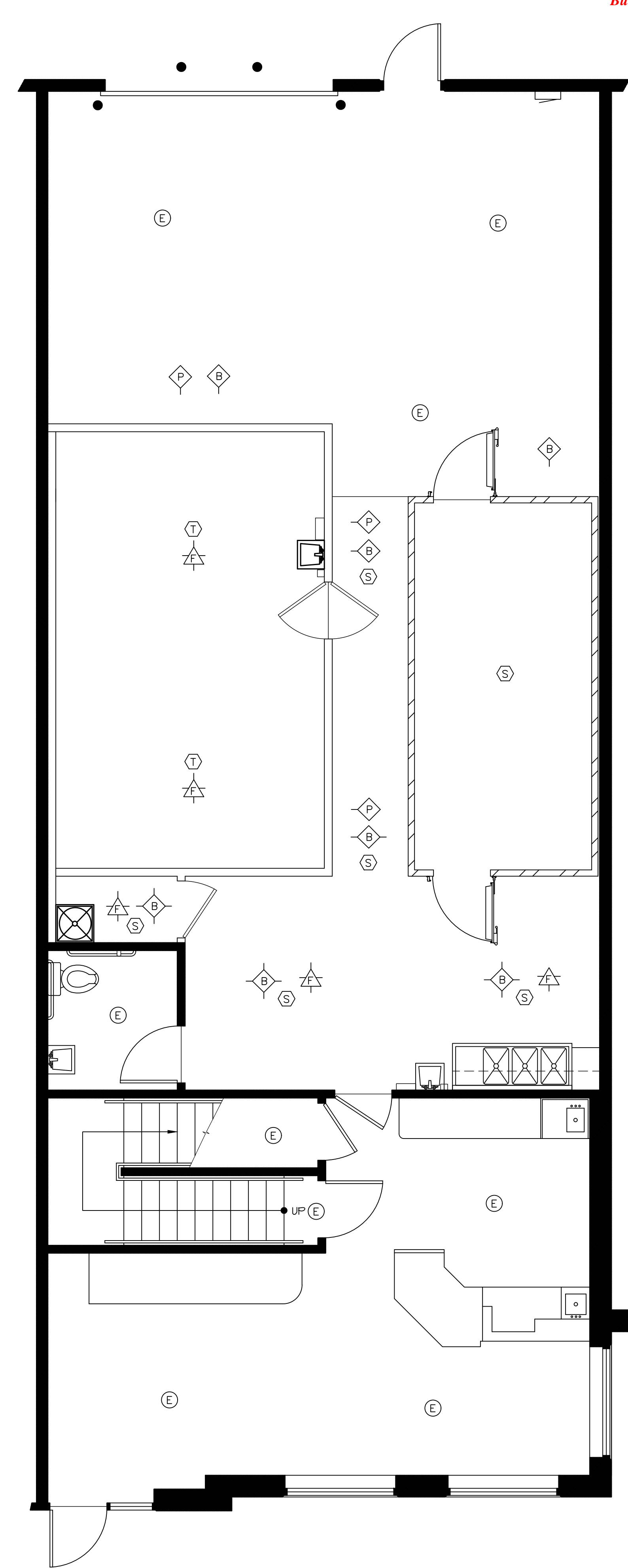
FINISH SPECIFICATIONS	
(E)	EXISTING FLOORING AND FINISHES TO REMAIN
(S)	SEALED CONCRETE: SEAL CONCRETE, ___OS___ COLOR.
(T)	EPOXY FLOORING: ___OS___ COVED 6" UP WALL, PROVIDE TRANSITION AT WALL TO FRP
(B)	RUBBER BASE: BURKE OR EQUAL ___OS___, 6" WITH COVE
(P)	PAINT: BENJAMIN MOORE ___OS___ (SEMI-GLOSS).
(F)	FRP WALL BOARD: KEMLITE ___OS___ SMOOTH FINISH, TO CEILING GRID ON WALLS SHOWN
TEXTURE: MATCH EXISTING	
CEILING TILE/GRID: ARMSTRONG 2'x4' GRID AND TILE, PROVIDE VINYL TILE IN ALL KITCHEN AREA AND IN FRONT PREP AREA	
ELEC. COVER PLATES: ___OS___	
TRANSITION STRIPS: PROVIDE AT ALL FLOORING TO TILE TRANSITIONS	
OTHER:	
* OS DENOTES OWNER SELECT	
* PROVIDE CORNER GUARDS ON ALL CORNERS COORD. WITH OWNER	

- NOTES:**
- COORDINATE ALL FINISHES WITH OWNER PRIOR TO ORDERING
- All doors used for egress shall have the required door operations in compliance with 2018 IBC 1010.1.9  
- Locks and latches shall be in compliance with 2018 IBC 1010.1.9.4

**PROJECT DESCRIPTION:**

THE PROJECT INCLUDES THE TENANT FINISH IMPROVEMENTS FOR A DELIVERY PIZZA KITCHEN IN AN EXISTING 2,793 SQUARE FOOT PORTION OF AN EXISTING BUILDING THAT WAS PREVIOUSLY USED AS A RESTAURANT. THERE IS ALSO AN EXISTING MEZZANINE FOR OFFICE USE, NO CHANGES WILL BE MADE TO THE MEZZANINE.

THIS IS A PIZZA KITCHEN ONLY WITH DELIVERY. THERE WILL BE NO CUSTOMER PICKUP OR SEATING. THIS FACILITY IS FOR EMPLOYEES ONLY.



FINISH PLAN