

PLANNED UNIT DEVELOPMENT AMENDMENT

FOR

LOTS 1 & 2, CRYSTAL ESTATES REPLAT A

LOCATED IN THE NE 1/4 OF THE NE 1/4 OF SECTION 8, T1S, R69W OF THE 6TH P.M.,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

MARCH 2022

SITE DEVELOPMENT DATA

FLOOR AREA	
EXISTING USE	
AUTO BODY	1,830 SF
BRAKE & MUFFLER	2,351 SF
WAITING OFFICE	704 SF
SUB TOTAL	8,432 SF
PROPOSED USE	
RETAIL SALES	2,496 SF
TENANT FINISH	5,936 SF
SUB TOTAL	8,432 SF

LAND USE	APPROVED PUD	PROPOSED PUD
LOT AREA	27,125 SF	27,125 SF
BUILDING COVERAGE	8,186 SF 30.2%	8,186 SF 30.2%
PARKING DRIVE AREA	12,158 SF 44.8%	10,509 SF 38.7%
LANDSCAPE/OPEN SPACE	6,781 SF 25.0%	8,430 SF 31.1%

INTERIOR PARKING/LANDSCAPE AREA		10,000 SF	
INTERIOR LANDSCAPE AREA		620 SF	6.2%
BUILDING SETBACK @HWY 42	30 FT	30 FT	
PARKING SETBACK @HWY 42	20 FT	20 FT	

PARKING SPACES	
SURFACE-STD	24
INTERIOR PARKING	21
SURFACE-ADA	1
IMPOUND AREA	10
TOTAL	56

BICYCLE (1/10)	N/A	3
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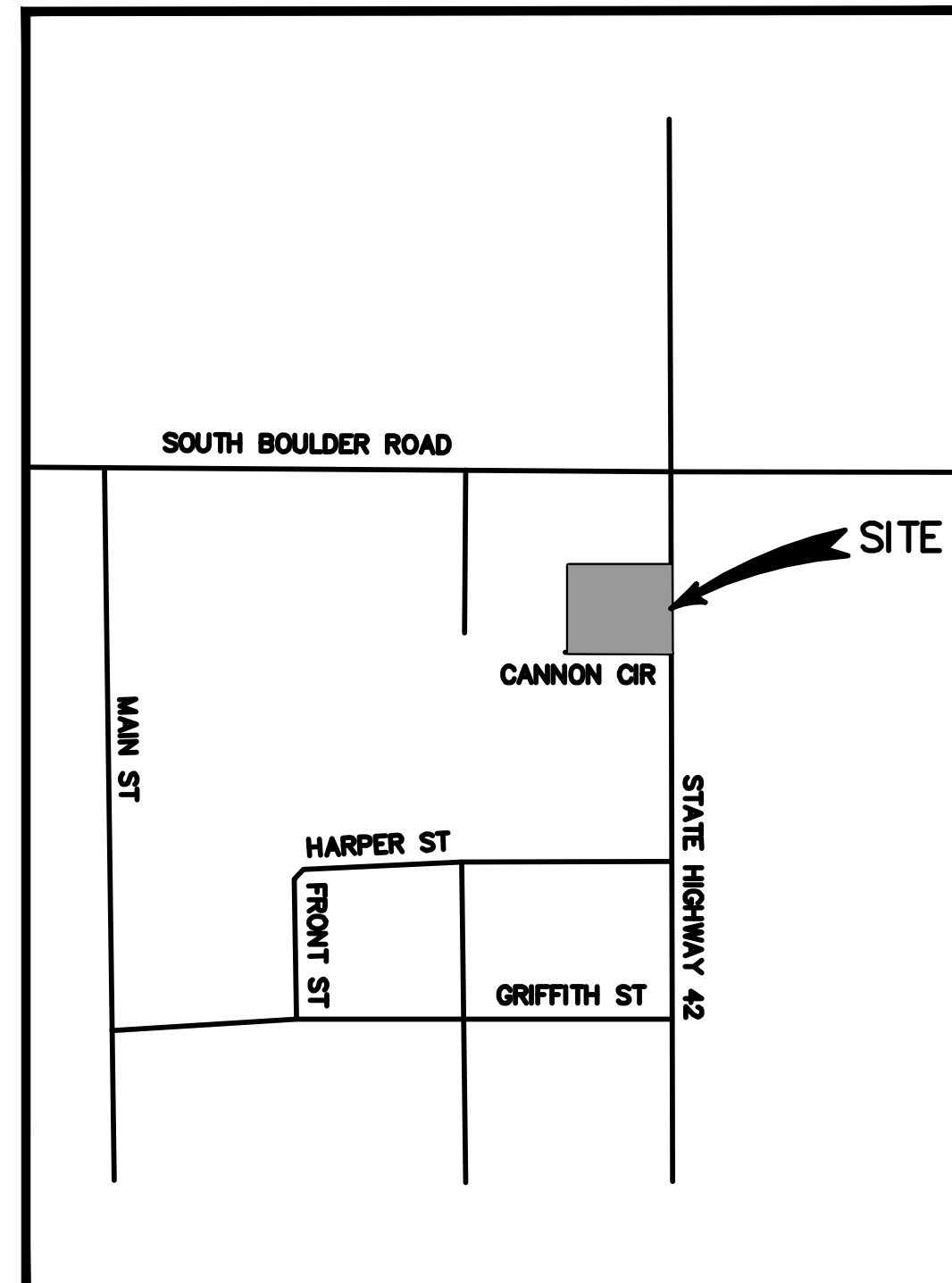
PARKING RATIO	
REQUIRED BY ZONING	5 SPACES PER 1,000 SF OF BUILDING
PARKING PROVIDED	22 PER 8,186 = 2.7 SPACES PER 1,000 SF

LIGHTING
EXTERIOR SITE LIGHTING SHALL CONFORM TO SECTION 8 OF THE COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES. IN ADDITION, SITE LIGHTING SHOULD UTILIZE 3000K TEMPERATURE OR LOWER LIGHTS AND HAVE SHIELDING TO CLOSELY FOLLOW DARK SKY GUIDELINES.

SIGNAGE
EXISTING MONUMENT SIGNS ARE IN CONFORMANCE WITH THE ORIGINAL PUD. ANY SIGN REVISIONS OR ADDED SIGNS SHALL BE REVIEW AND APPROVED BY THE CITY OF LOUISVILLE PLANNING COMMISSION. BUILDING SIGNS WILL BE IN ACCORDANCE WITH THE CRYSTAL ESTATES GUIDELINES.

GENERAL NOTES

- THE EXISTING CONDITION INFORMATION SHOWN ON PUD PLAN IS INTENDED TO DEPICT THE EXISTING CONDITIONS FOR PLANNING PURPOSES ONLY AND IS NOT INTENDED TO BE A LEGAL SURVEY.
- THIS SET OF DOCUMENTS IS FOR USE AS PLANNING DOCUMENTS AND IS NOT TO BE USED FOR CONSTRUCTION.
- ANY MISSING/UNINSTALLED OR DEAD LANDSCAPING, AS PROPOSED IN PREVIOUS PUD WILL BE REPLACED.
- ALL REQUIREMENTS OF SECTION 17.28.120 OF THE MUDDSG HAVE BEEN MET. NO WAIVERS OR EXCEPTIONS ARE BEING REQUESTED.
- EXISTING ON-SITE DRAINAGE FACILITIES ARE PRIVATE OWNED AND MAINTAINED BY AN OWNER'S ASSOCIATION.
- ZONING IS CC-MU (COMMERCIAL COMMUNITY - MIXED USE)



VICINITY MAP
NOT TO SCALE

PREPARED BY:

Drexel, Barrell & Co.
Engineers Surveyors
1800 38TH STREET
BOULDER, COLORADO 80301
(303) 442-4338
CONTACT:
CAMERON KNAPP, P.E.

PREPARED FOR:

HOMELAND DEVELOPMENT
2200 S. VALENTIA STREET
DENVER, CO 80231
(303) 883-2054
CONTACT:
MIKE SWISHER

REVIEWING AGENCIES:

CITY OF LOUISVILLE
PLANNING & BUILDING SAFETY
749 MAIN STREET
LOUISVILLE, CO 80027

ELIJAN HASSAN, PLANNER
303-335-4591

BENCHMARK & HORIZONTAL CONTROL

BENCHMARK:
A #5 REBAR WITH ALUMINUM CAP SET BY DREXEL, BARRELL & CO., LS 17664 AT THE SOUTHEAST CORNER OF LOT 2, CRYSTAL ESTATES REPLAT "A", HAVING AN ELEVATION OF 5341.9 AND THE E 1/4 CORNER OF SEC. 8, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE DESIGNATION "LP4" HAVING AN ELEVATION OF 5320.64.

BASIS OF BEARING:
BEARINGS ARE REFERRED TO THE SOUTH LOT LINE BEARING N89°58'20"W.

SIGNATURE BLOCKS

PLANNING DEPARTMENT

APPROVED THIS ____DAY OF _____, 2022
BY THE PLANNING DEPARTMENT OF THE CITY OF LOUISVILLE, COLORADO.
RESOLUTION NO. _____ SERIES _____

PLANNING DIRECTOR _____

CLERK AND RECORDER CERTIFICATE (COUNTY OF BOULDER, STATE OF COLORADO)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN OFFICE AT ____O'CLOCK, __M., THIS ____ DAY OF _____, 2022, AND IS RECORDED IN PLAN FILE _____

FEE _____ PAID _____ FILM NO. _____

RECORDER _____ DEPUTY _____

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	PUD PLAN MAP
3	GRADING PLAN
4	DETAILS
5	BUILDING ELEVATIONS
6	BUILDING ELEVATIONS
7	LANDSCAPE PLANS
8	PHOTOMETRIC PLANS

LEGAL DESCRIPTION:

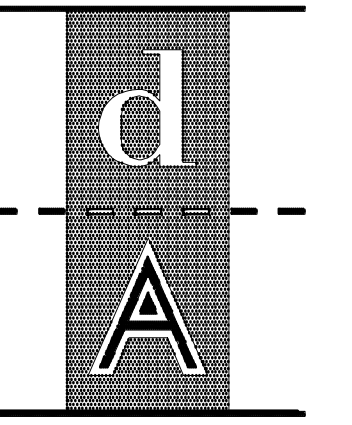
LOTS 1 & 2, CRYSTAL ESTATES REPLAT A
COUNTY OF BOULDER, STATE OF COLORADO

PROJECT SUMMARY:

THIS PUD AMENDMENT IS REQUESTED FOR THE CHANGE IN USE OF LOTS 1 AND 2 FROM AUTOMOTIVE REPAIR TO COMMERCIAL/RETAIL USE. THE BUILDING ON LOT 1 SHALL HAVE A SINGLE TENANT WHILE THE BUILDING ON LOT 2 WILL BE RENOVATED FOR THE USE OF UP TO 4 TENANTS. THE PAVED AREA BETWEEN THE BUILDINGS WILL BE RECONFIGURED TO PROVIDE ADDITIONAL PARKING STALLS AND LANDSCAPING. EXTERIOR BUILDING CHANGES WILL INCLUDE ADDED BUILDING MOUNTED LIGHTING AND AWNINGS. A BICYCLE RACK WILL ALSO BE INSTALLED.



Know what's below.
Call before you dig.

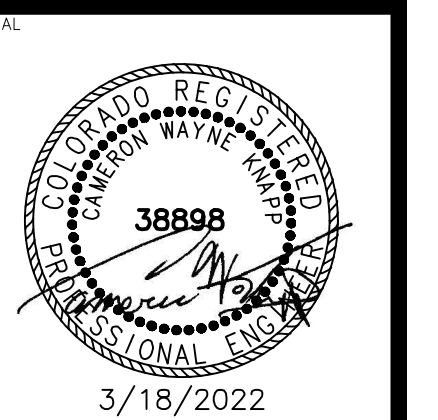


DULANEY
architecture

5825 E. Maplewood Avenue
Centennial, Colorado 80111
PH: (303) 615-9123

web: dulaneyarchitecture.com

NOTE TO CONTRACTORS:
No work shall be performed until all plans are approved by the local jurisdiction. The architect & engineers shall not be responsible for any work performed prior to the issuance of permits.



REVISION DATE:		
MARK	DATE	DESCRIPTION

PROJECT FILE

PUD AMENDMENT
1655 CANNON CIR.
LOUISVILLE, COLORADO 80027

JOB NO.:	2021-86
DRAWN BY:	MAB
CHECKED BY:	CWK
ISSUED DATE:	03.10.2022

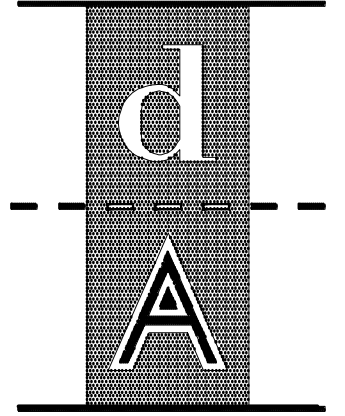
SHEET TITLE

COVER SHEET

SHEET NUMBER

1

1160 E. SOUTH BOULDER RD.



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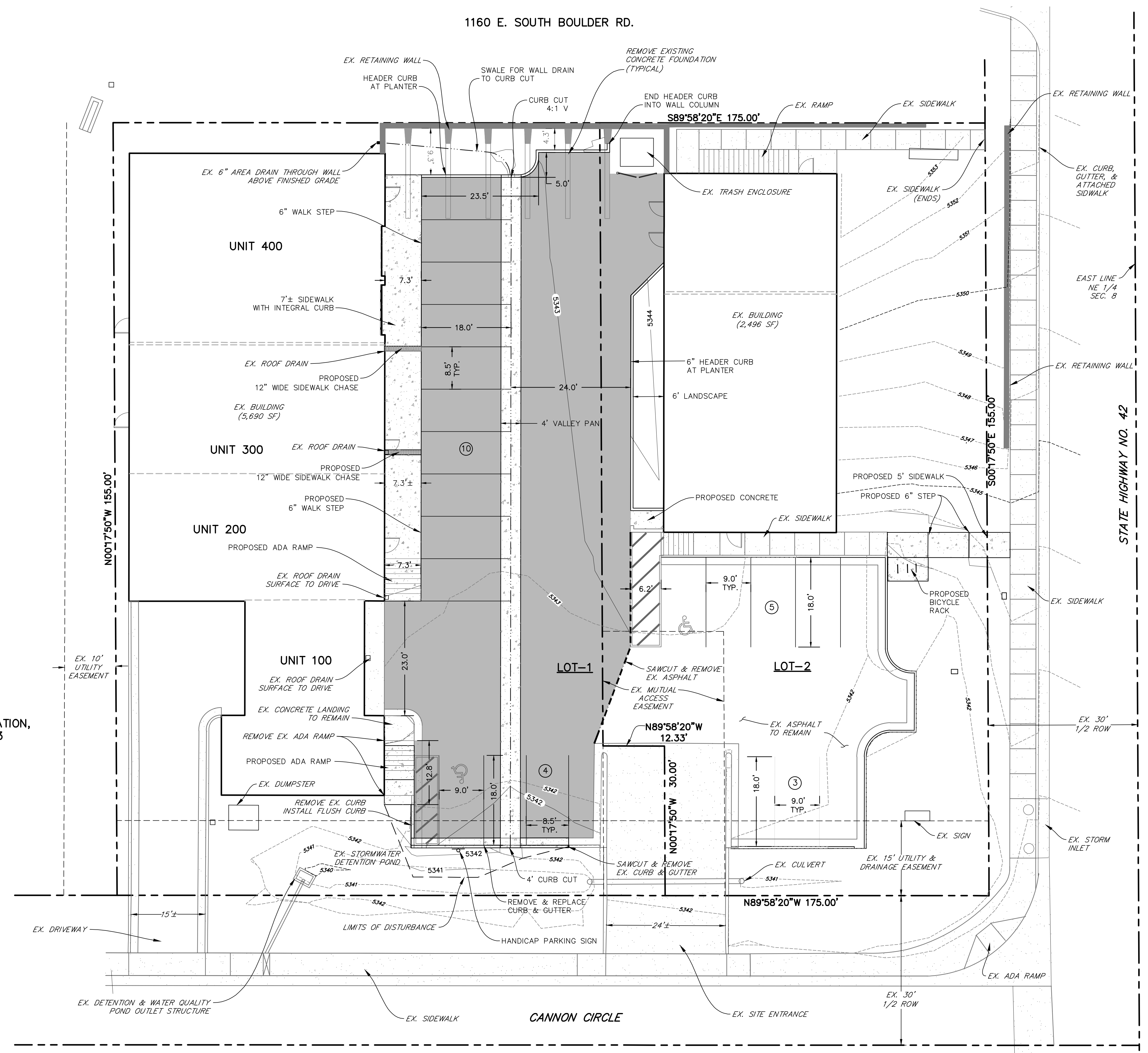
SHEET TITLE
PUD PLAN MAP

SHEET NUMBER

2

LEGEND

- PROPERTY LINE.....
- EX. INTERMEDIATE CONTOUR.....
- EX. INDEX CONTOUR.....
- PROPOSED INTERMEDIATE CONTOUR.....
- PROPOSED INDEX CONTOUR.....
- EX. STORM LINE.....
- EX. CONCRETE.....
- TOP BACK OF CURB..... TC
- FLOWLINE..... FL
- FLOWLINE OR DRAINAGE SWALE.....
- PROPOSED CONCRETE.....
- PROPOSED ASPHALT.....
- PARKING SPACES..... (8)



COAL CREEK STATION,
FILING NO. 3
LOT 2



Know what's below.
Call before you dig.

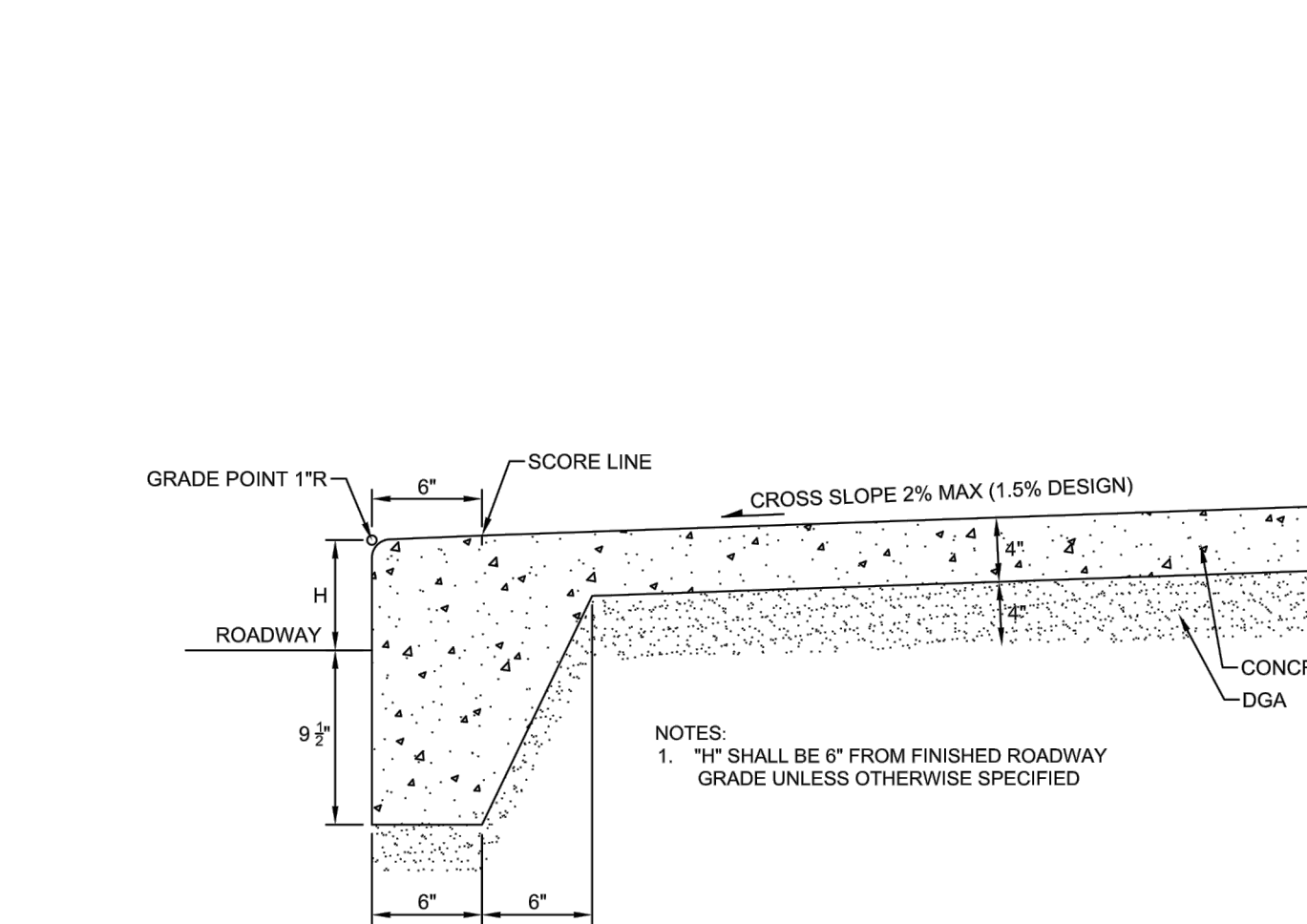
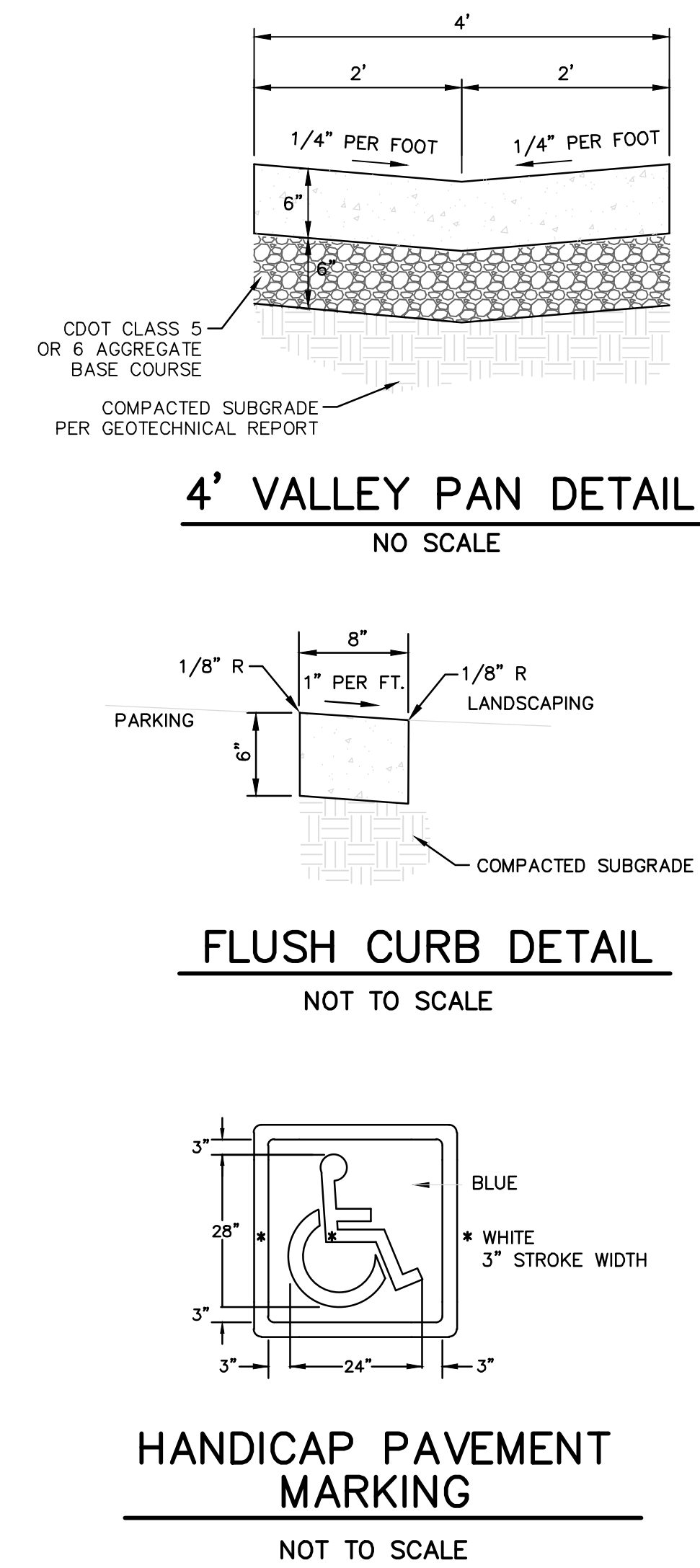
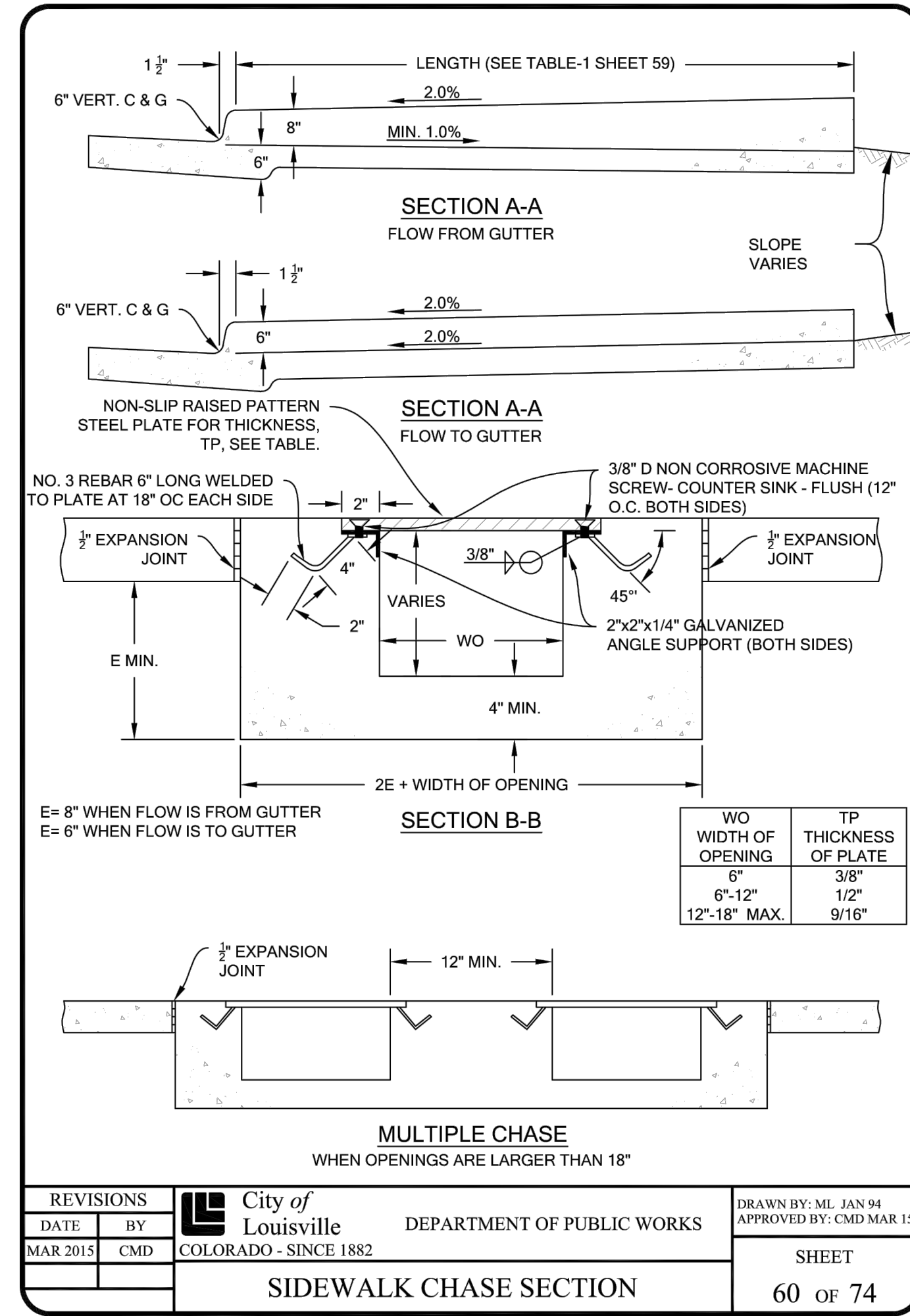
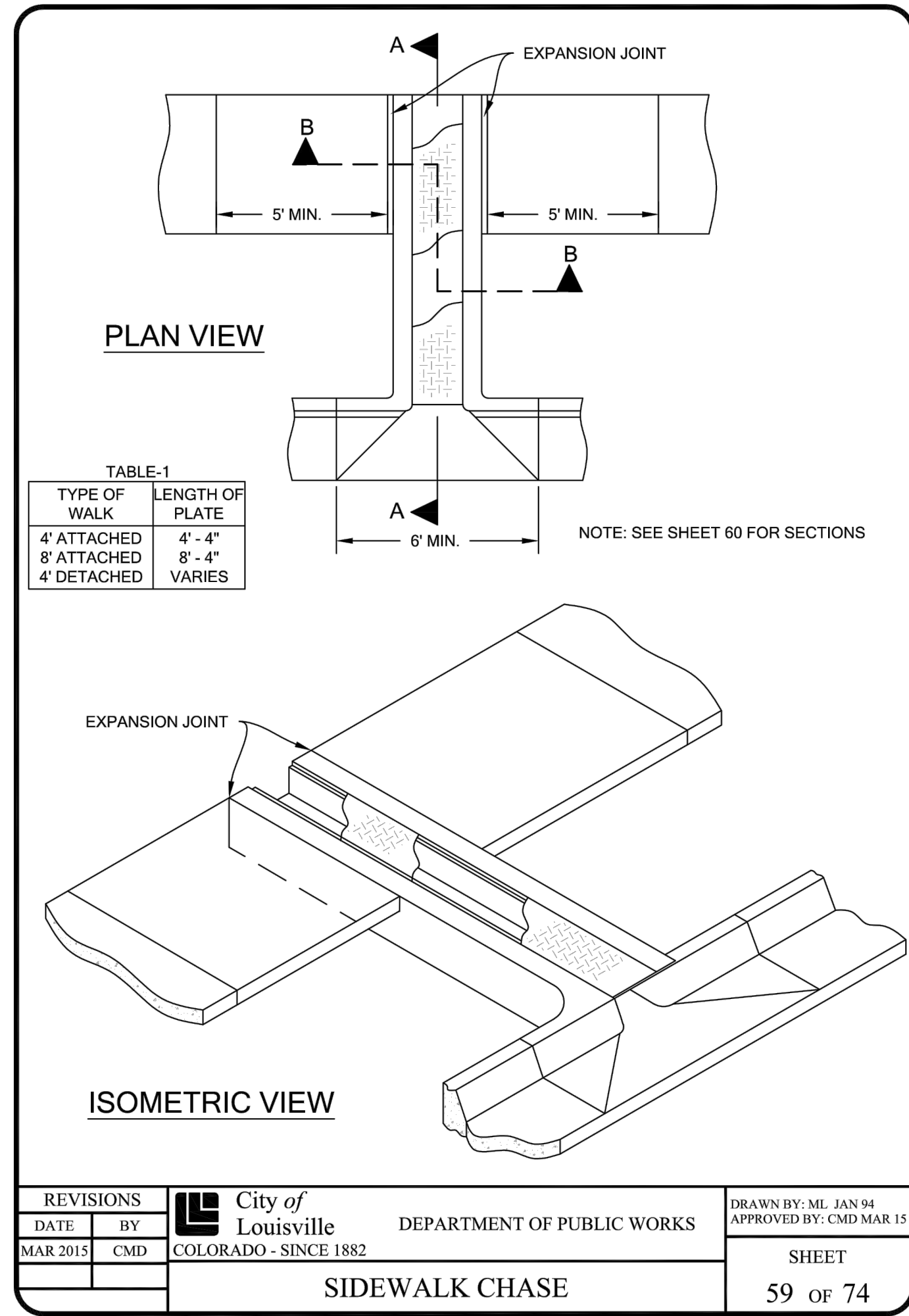
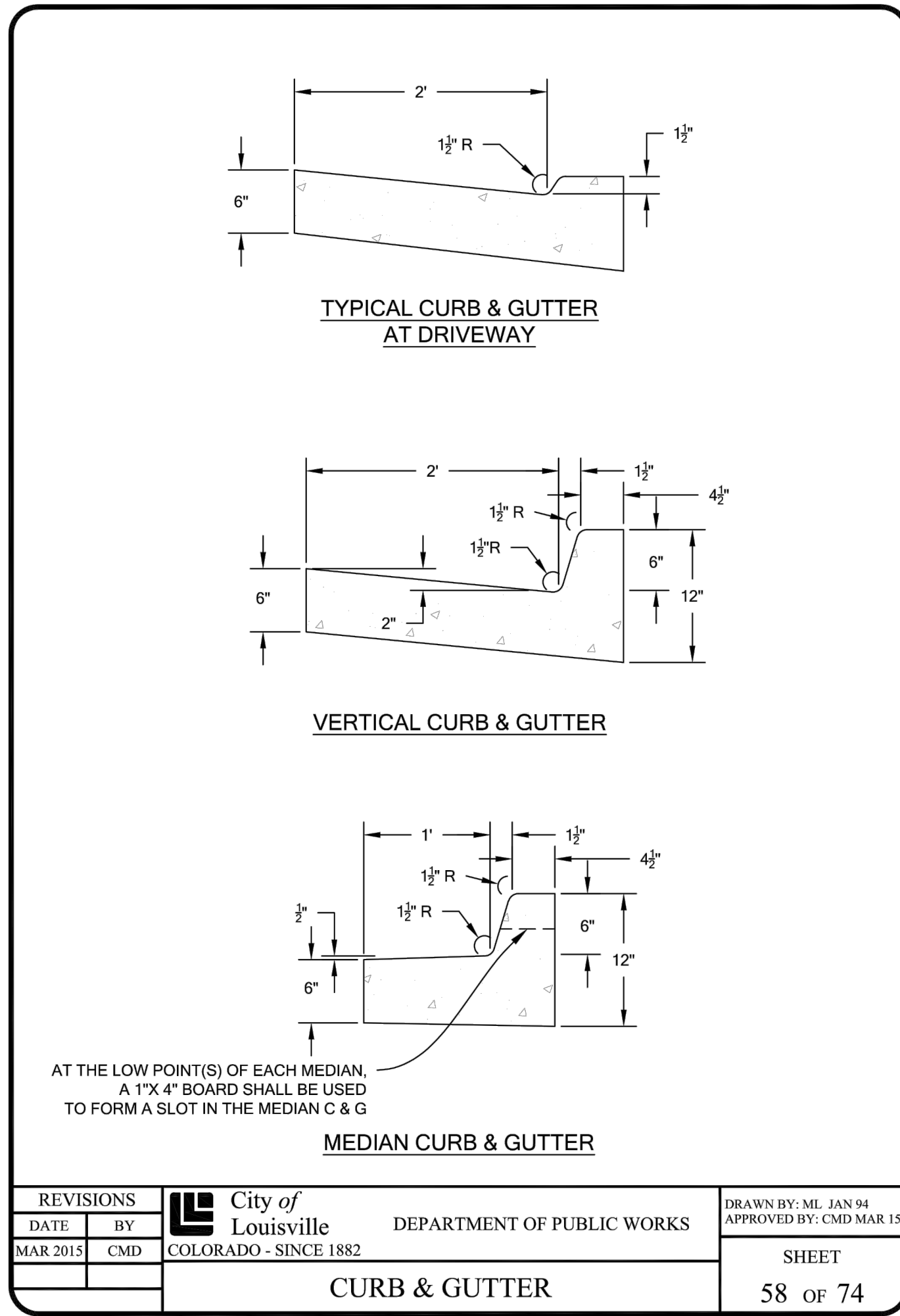
BENCHMARK & HORIZONTAL CONTROL

BENCHMARKS:
A #5 REBAR WITH ALUMINUM CAP SET BY DREXEL, BARRELL & CO., LS 17664 AT THE SOUTHEAST CORNER OF LOT 2, CRYSTAL ESTATES REPLAT "A", HAVING AN ELEVATION OF 5341.9 AND THE E 1/4 CORNER OF SEC. 8, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE DESIGNATION "LP4" HAVING AN ELEVATION OF 5320.64.

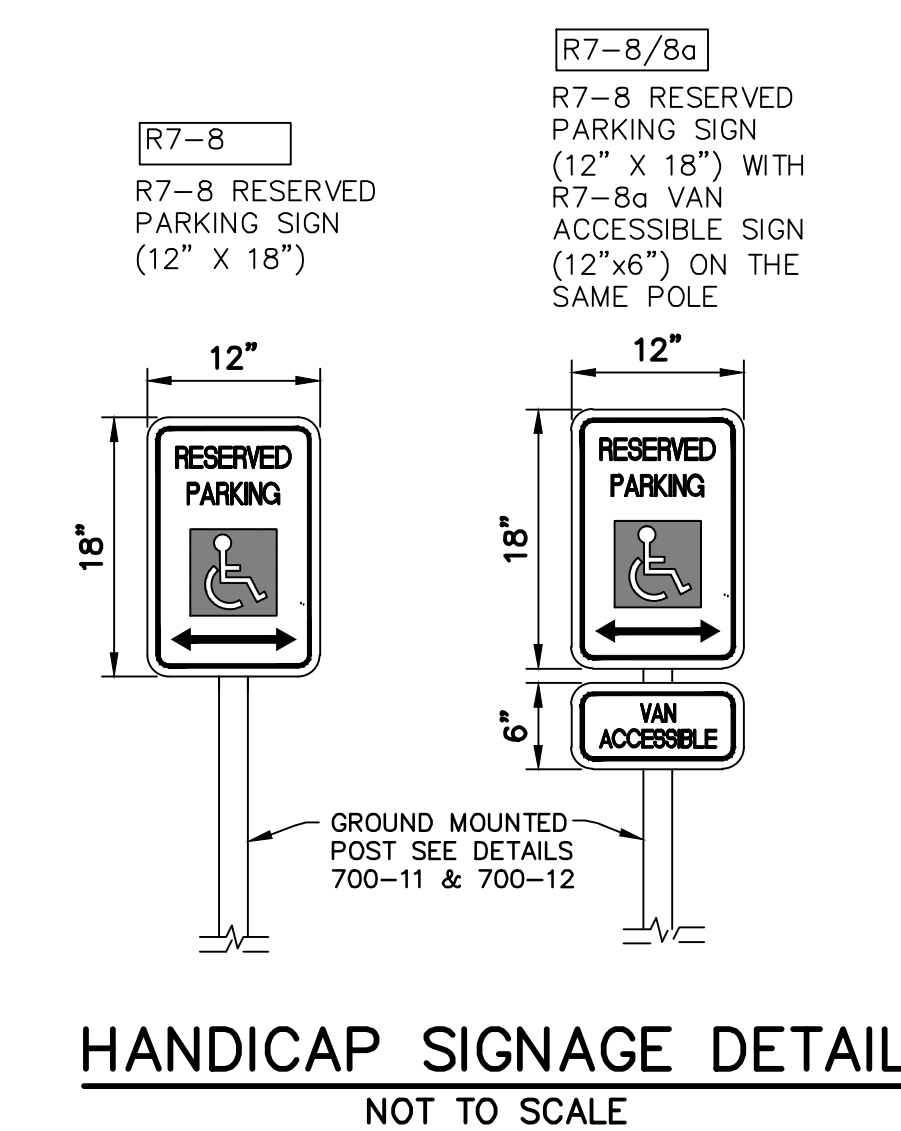
BASIS OF BEARING:
BEARINGS ARE REFERRED TO THE SOUTH LOT LINE BEARING N89°58'20"W.



PUD PLAN
SCALE 1" = 10"



- SIGNS FOR ACCESSIBLE PARKING SHALL:
1. BE AT LEAST 12 INCHES WIDE AND 18 INCHES HIGH.
 2. HAVE WHITE LETTER ON BLUE BACKGROUND.
 3. STATE "RESERVED PARKING" AND "TOW AWAY ZONE" ON SUPPLEMENTAL SIGN.
 4. SHOW A HANDICAPPED SYMBOL.
 5. BE PERMANENTLY MOUNTED WITHIN 10 FEET OF EACH ACCESSIBLE PARKING SPACE.
 6. BE LOCATED AT THE CENTER OF EACH ACCESSIBLE PARKING SPACE, FACING THE REAR OF THE SPACE.
 7. BE 7 FEET ABOVE THE GROUND WHEN MOUNTED ON POST.
 8. BE 5 FEET ABOVE THE GROUND WHEN WALL MOUNTED.



DULANEY architecture

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38898
3/18/2022

REVISION DATE:	MARK	DATE	DESCRIPTION

PROJECT TITLE

PUD AMENDMENT

1655 CANNON CIR.
LOUISVILLE, COLORADO 80027

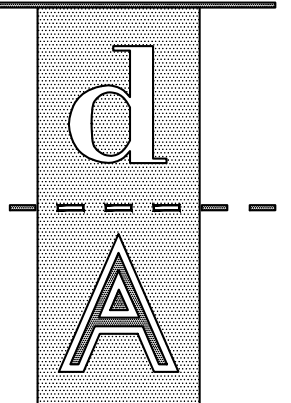
JOB NO.:	2021-86
DRAWN BY:	MAB
CHECKED BY:	CWK
ISSUED DATE:	03.10.2022

SHEET TITLE

DETAILS

SHEET NUMBER

4

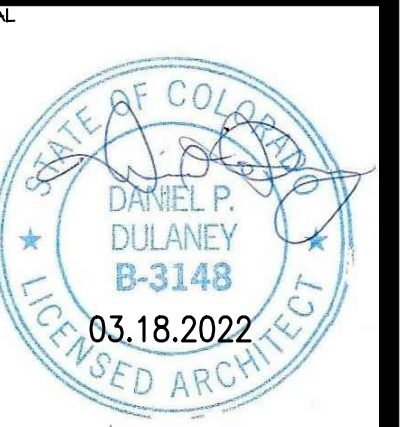


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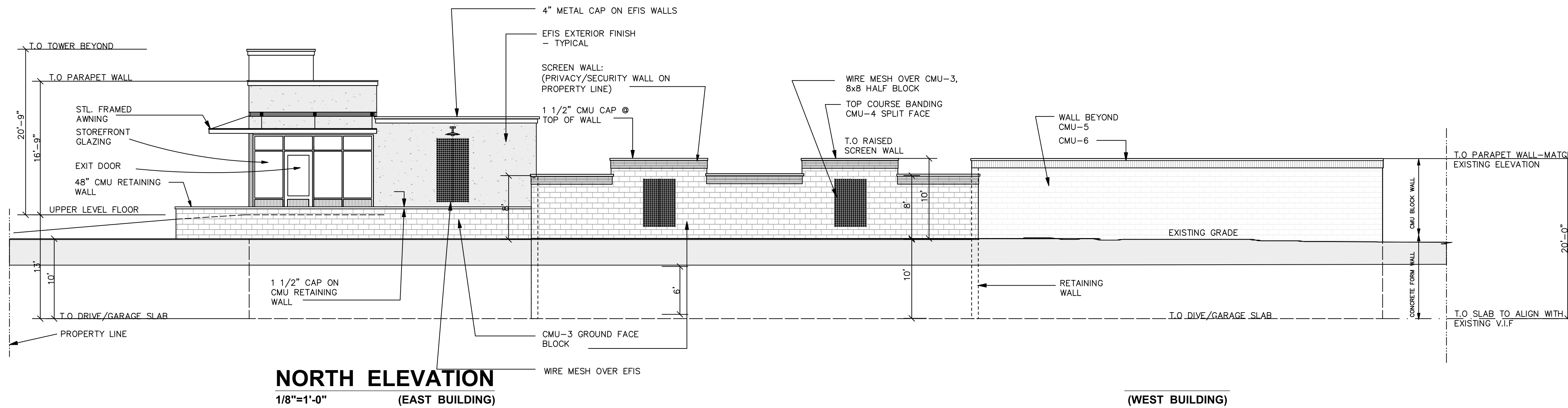
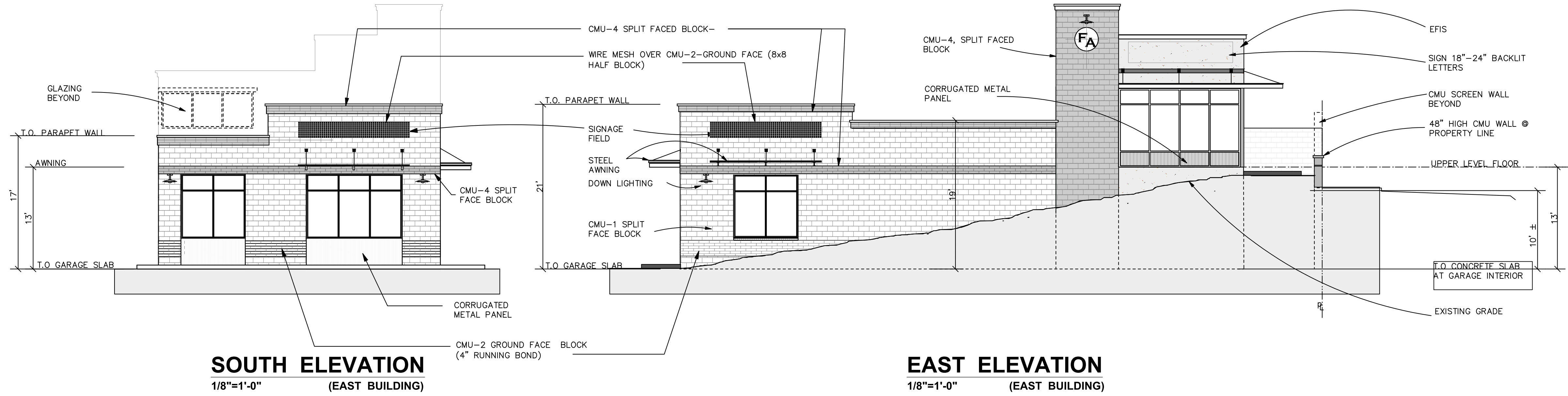
JOB NO.: 2021-86
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ISSUED DATE: 03.18.22

SHEET TITLE

BUILDING ELEVATIONS

SHEET NUMBER

5



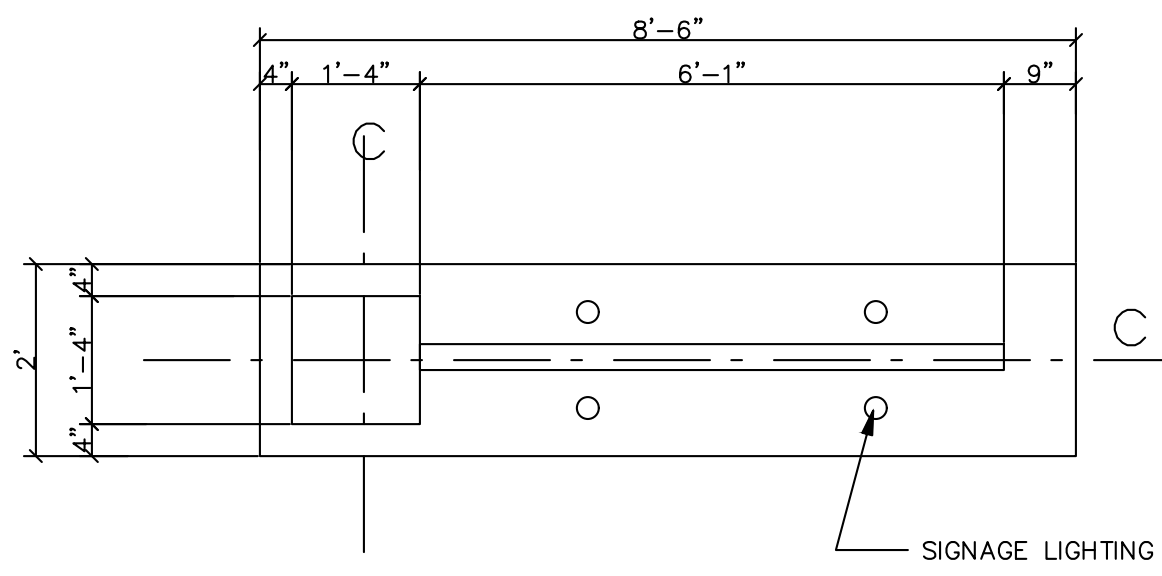
- BUILDING ELEVATION NOTES**
- All roof mounted HVAC units shall be fully screened in accordance with the Commercial Development Standards and Guidelines (CDDSG).
 - All on site trash dumpsters visible from an adjoining public right-of-way shall be fully screened in accordance with the CDDSG.

FINISH LEGEND

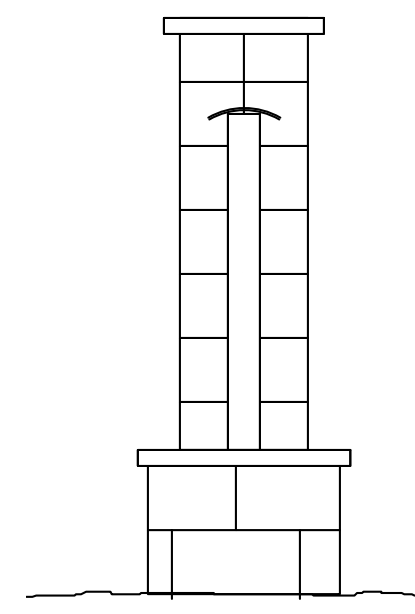
CMU-1	SPLIT FACE BLOCK	ROBINSON BLOCK	"DESERT YELLOW"
CMU-2	GROUND FACE	ROBINSON BLOCK	"DESERT YELLOW"
CMU-3	GROUND FACE	ROBINSON BLOCK	"MAROON"
CMU-4	SPLIT FACE	ROBINSON BLOCK	"MAROON"
CMU-5	SPLIT FACE ROBINSON BLOCK	"IVORY"	(TO MATCH EXISTING)
CMU-6	SPLIT FACE- REGULAR FLUTED 8 POST,	ROBINSON BLOCK	"IVORY" (TO MATCH EXISTING)
CORRUGATED STEEL	GALVANIZED FINISH		
EFIS	EXTERIOR FINISH AND INSULATION SYSTEM		

PUD AMENDMENT

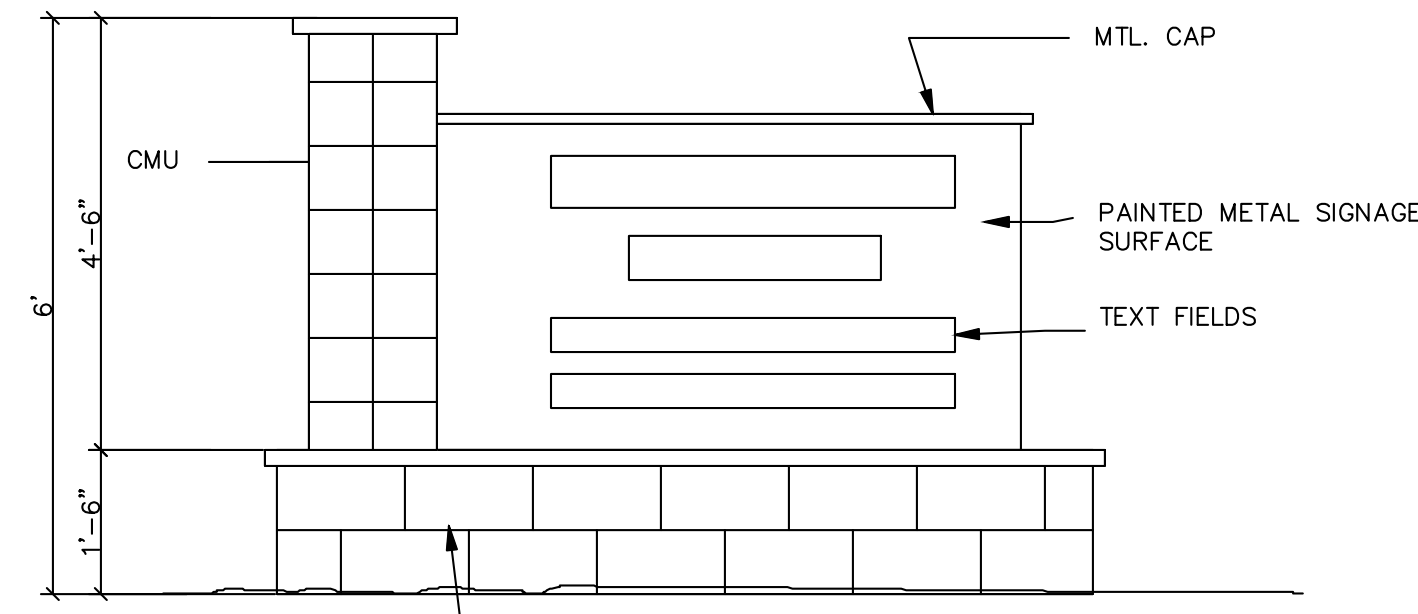
LOT 1 AND 2, CRISTAL SILVER COUNTRY OF BOULDER, STATE OF COLORADO



SIGNAGE PLAN
1/2"=1'-0"

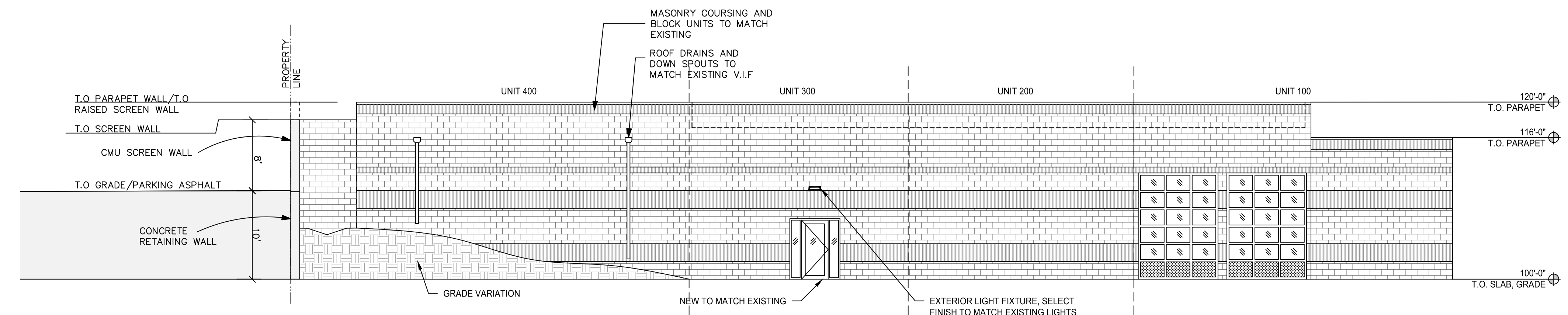


SIDE ELEVATION

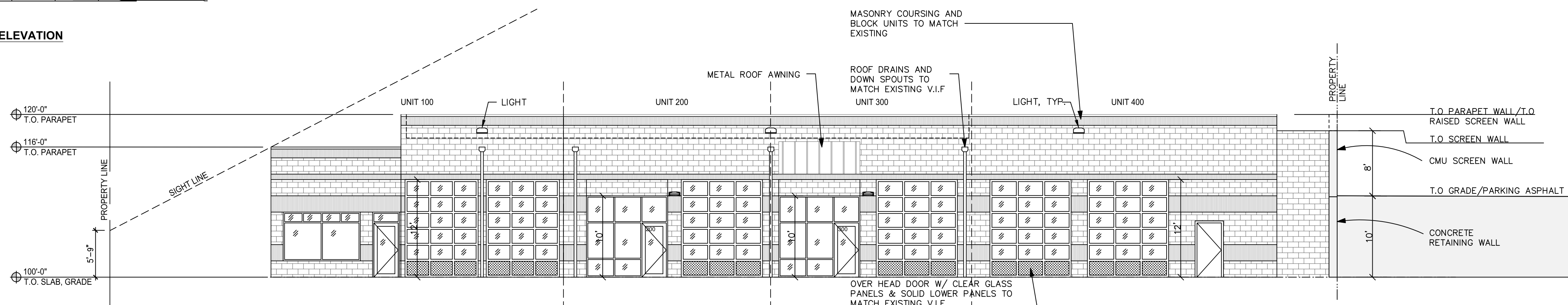


FRONT ELEVATION

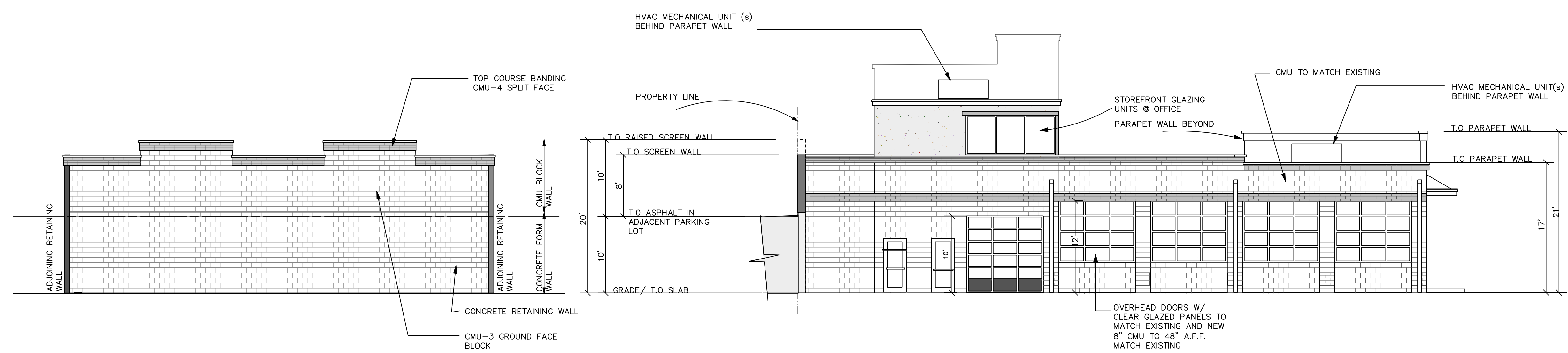
PEDESTAL SIGNAGE
1/2"=1'-0"



WEST ELEVATION
1/8"=1'-0" (WEST BUILDING)



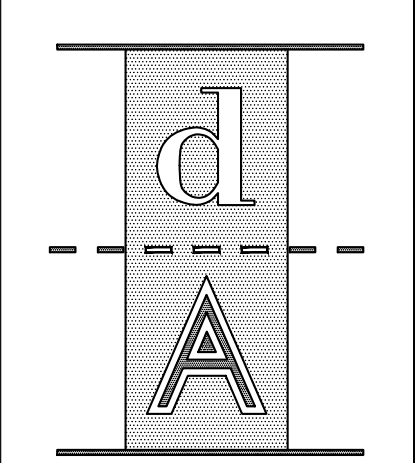
EAST ELEVATION
1/8"=1'-0" (WEST BUILDING)



SOUTH ELEVATION
1/8"=1'-0"

WEST ELEVATION
1/8"=1'-0" (EAST BUILDING)

PUD AMENDMENT

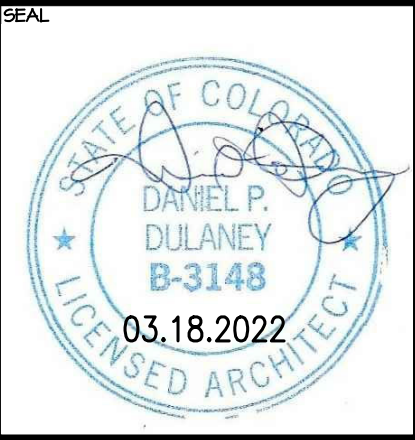


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 1655 CANNON CIR.
 LOUISVILLE, COLORADO 80027

JOB NO.: 2021-86
DRAWN BY: BM
CHECKED BY: DPD
ISSUED DATE: 03.18.22

SHEET TITLE

BUILDING ELEVATIONS

SHEET NUMBER

6

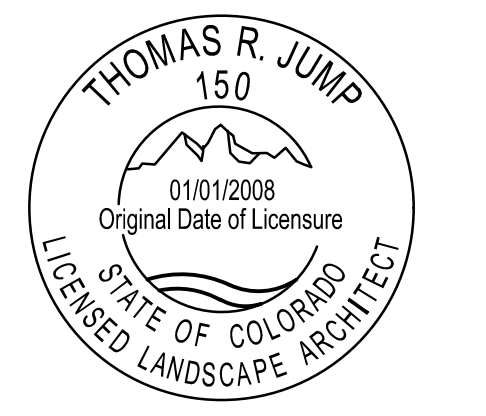


Owner/Developer:

Homeland
 2200 S. Valientia Street
 Denver, CO 80231
 Contact: Mike Swisher
 Tel. 303-883-2054
 Email: mike@homeland.com

Landscape Architect:

 PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
 1733 S. Clarkson Street
 Denver, Colorado 80210
 303.282.0463
 info@jumpdesignco.com



1655 Cannon Circle
Louisville, Colorado 80027

Landscape Construction Documents

Issue Date 03/18/22
 Revisions

Job #:
 Drawn by:
 Checked by:

Sheet Title
LANDSCAPE PLAN

Sheet No.
7

NOTES

GENERAL

1. ALL WORK SHALL CONFORM TO APPLICABLE STATE, LOCAL CODES AND CITY OF LOUISVILLE STANDARDS AND REGULATIONS.
2. CONTACT APPROPRIATE UTILITY LOCATORS TO IDENTIFY LOCATION OF ALL BURIED UTILITY LINES. VERIFY LOCATIONS, GRADES, AND CONDITION OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO DIGGING, EXCAVATION OR TRENCHING. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES. DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR WITH NO EXPENSE TO THE OWNER.
3. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL PERTINENT SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES WITH INFORMATION STATED IN THESE PLANS. DO NOT PROCEED WITH CONSTRUCTION IF DISCREPANCIES EXIST WITHOUT ARCHITECT APPROVAL.
4. REFER TO THE ARCHITECTURAL AND ENGINEERING PLANS IN CONJUNCTION WITH THE LANDSCAPE PLANS. ANY DISCREPANCIES IN MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY.
5. BASE FILES PROVIDED TO JDC BY HOMELAND INC.

GRADING AND SITE PREPARATION

6. IN AREAS OF EXISTING OR PROPOSED PLANT BEDS, SPRAY ANY INVASIVE NATIVE GRASSES AND/OR WEEDS WITH A GLYPHOSATE-BASED HERBICIDE USING INDUSTRY BEST MANAGEMENT PRACTICES FOR APPLICATION TO PROTECT PLANTS TO REMAIN AND OTHER LIVING THINGS. AFTER 48 HOURS RIP AREAS BEGIN PREPARATION ON BED SUBGRADE.
7. RAKE & STOCKPILE ANY ROCK OR COBBLE MULCH TO BE RE-USED AND REMOVE ANY WEED BARRIER THAT CAN'T BE ADEQUATELY SALVAGED FOR REUSE. LOOSEN AND SCARIFY BED SUBGRADE WITHOUT DAMAGE TO ROOT SYSTEMS OF PLANTS TO REMAIN AND ADD SOIL AMENDMENT AT 3 C.Y. PER 1000 SF.
9. SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED & NITROGEN STABILIZED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. pH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, Eaton, CO 80615, OR APPROVED EQUAL. TILL TO A MIN. DEPTH OF 8" IN BED AREAS.
10. SMOOTH, LEVEL AND FINE GRADE BED AREAS TO BE PLANTED. REMOVE REQUIRED DEPTH OF SOIL ALONG CURBS AND WALKWAYS TO ACCOMMODATE MULCH DEPTH. IN BED AREAS HOLD TO OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS. DO NOT CREATE LOW SPOTS OR PONDING.
11. IN THE EXISTING DRAINAGE SWALE DO NOT INHIBIT THE FLOW OF WATER ALONG THE LENGTH OF ITS FLOWLINE WITH FINE GRADING OPERATIONS OR REPLACING COBBLES.
12. IN NEW PARKING PLANTER AREAS, AFTER ASPHALT REMOVAL BY OTHER CONTRACTORS REMOVE 18" OF SUBSOIL AND REPLACE WITH CLEAN NON-CLAY LOAMY FILL MATERIAL. COMPACTING TO 85% STD. DENSITY. THE TOP 4-5" SHALL BE CLEAN TOPSOIL AND SOIL AMENDMENT TILLED AND FINE GRADED AS DESCRIBED ABOVE LEAVING THE 4-5" BELOW THE TOP OF CURB FOR MULCH.

PLANTING NOTES

13. ALL PROPOSED TREES, SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON THE SITE FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

14. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 (2014). ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.

15. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT STARTING AT FINAL ACCEPTANCE THAT INCLUDES PLANT MATERIAL, INSTALLATION AND LABOR COSTS.

16. REQUIRED PLANT QUANTITIES SHALL BE INSTALLED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES ON THE PLAN. NOTIFY OWNER OF ANY DISCREPANCIES.

17. PLANT SPECIES AND LOCATIONS SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PLANTING.

18. EXISTING EDGER SHALL BE REUSED IN-PLACE EXCEPT WHERE IT IS DAMAGED AND NEEDS REPLACED. TOP OF EDGER OR ADJACENT BED GRADE SHALL BE ADJUSTED 1-2" +/- TO KEEP THE EDGER FROM BEING VISIBLE.

19. WHERE NEW EDGER IS REQUIRED, EDGER SHALL BE PRO-STEEL PS3/16-16, 4" DEPTH x 3/16" (7 GA.) WITH STAKES AND FASTENED OVERLAP SECTIONS PER MANUFACTURER'S RECOMMENDATIONS. SUPPLIER SHALL BE PRO-STEEL EDGING & LANDSCAPE PRODUCTS, 5121 KALTENBRUN RD., FORT WORTH, TX 76119 OR APPROVED EQUAL.

MULCH

20. ALL SHRUB AREAS SHALL BE MULCHED WITH NEW 4" DEPTH DOUBLE-SHREDDED CEDAR FIBER MULCH, NATURAL COLOR WITHOUT WEED FABRIC.

21. REPLACE AND COVER ROCK AND COBBLES IN THOSE SAME AREAS THAT WERE PREVIOUSLY THE SAME COVER. SUPPLEMENT THE ROCK/COBBLE AS REQUIRED WITH NEW MATERIAL THAT MATCHES THAT THAT IS EXISTING IN SIZE AND COLOR. ALL PROPOSED COBBLE/ROCK AREAS SHALL RECEIVE WATER AND AIR-PERMEABLE WEED-BARRIER FABRIC.

22. ALL TREES IN TURF AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3-4" IN DIAMETER.

EXISTING TURF

23. EXISTING TURF SHALL BE EVALUATED DURING THE GROWING SEASON AND IN THE EVENT OF SPARSE VEGETATIVE COVER AND GRASS BLADE GROWTH, AT THE DIRECTION OF THE OWNER, BE TOPRESSED AND RESEED WITH THE ORIGINAL SEED BLEND. SEED BLEND IS BELIEVED TO BE "ENVIROTURF" BY TURFMASTER SOD FARM, 327 N GIDDINGS RD, FORT COLLINS, CO 80524 (970) 493-8311 TURFMASTERSOD.COM.

IRRIGATION

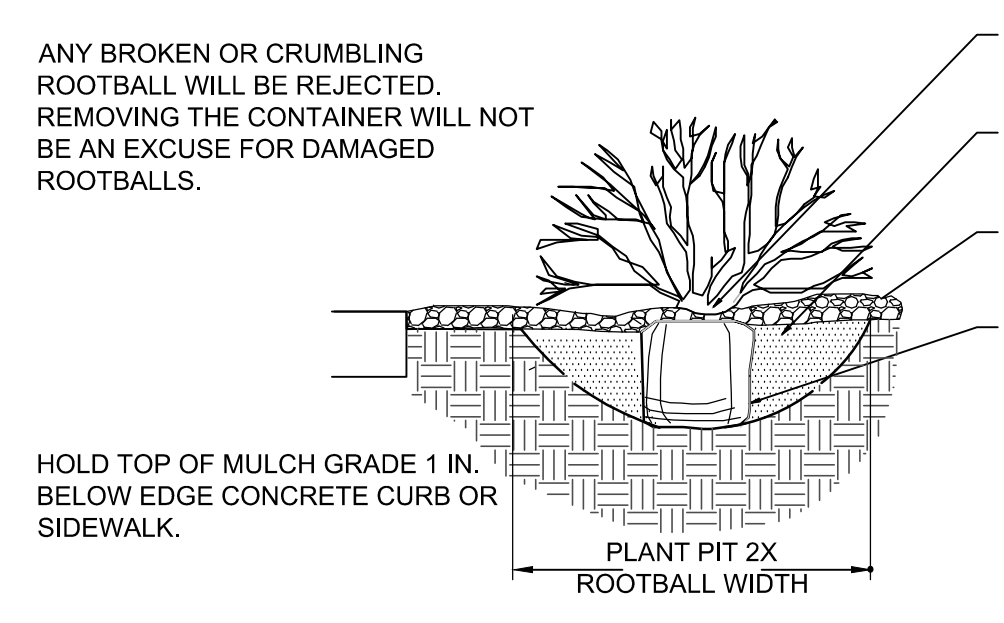
24. COORDINATE SLEEVING WITH GENERAL CONTRACTOR AND INSTALL NECESSARY CL. 200 SLEEVES TO ACCOMMODATE NEW BED PLANTINGS AND SIDEWALK CONSTRUCTION.
25. EVALUATE EXISTING IRRIGATION SYSTEM AND MAKE DESIGN-BUILD PROPOSAL TO PROVIDE DRIP IRRIGATION TO ALL PLANTING BEDS, SHRUBS, GRASSES & PERENNIALS.

PLANT LIST

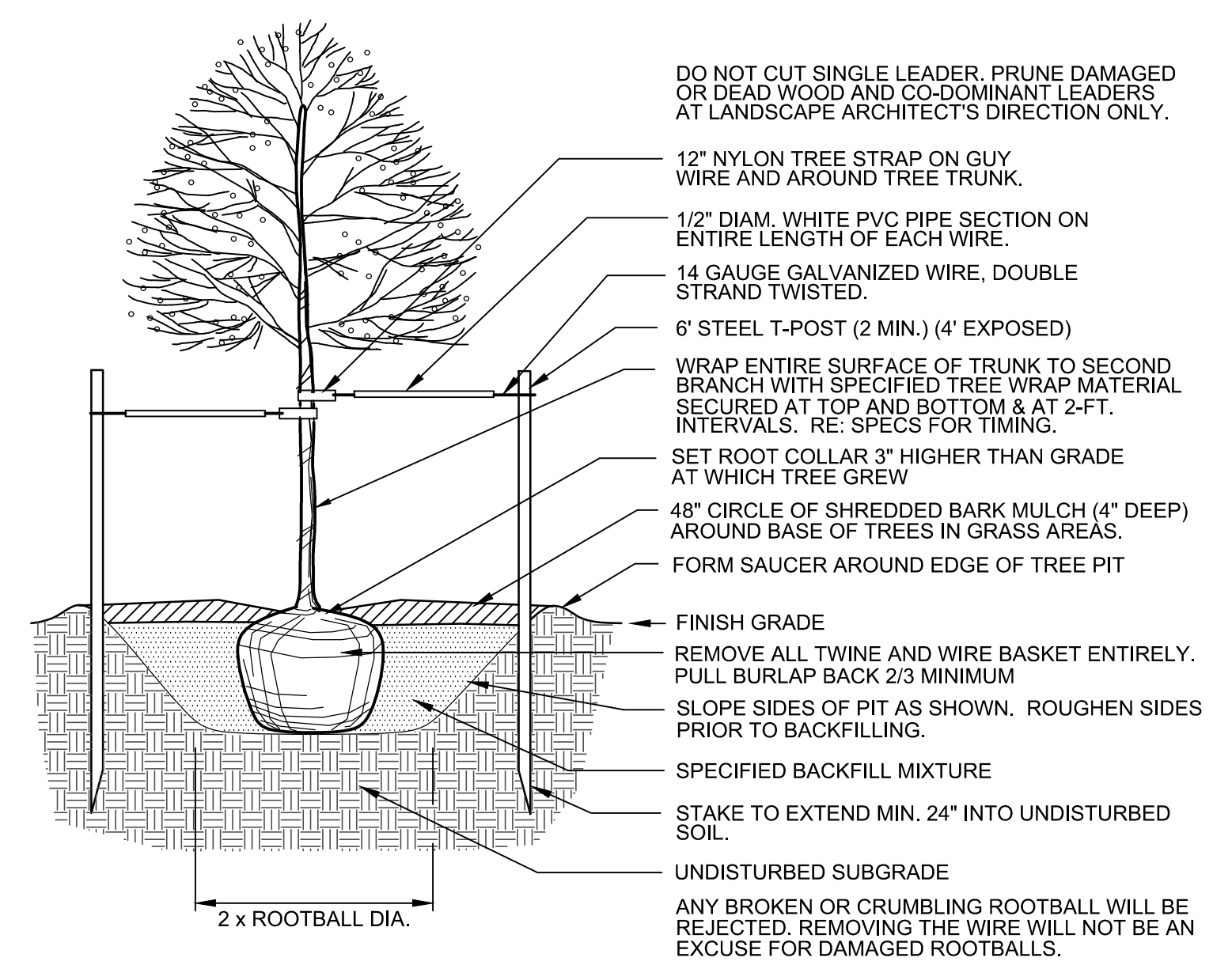
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES/REMARKS
DECIDUOUS TREES					
CO	2	<i>Quercus mehlenbergii</i>	Chinkapin Oak	2" cal.	B&B, single stem, full head
ORNAMENTAL TREES					
SO	3	<i>Quercus robur x alba</i> 'Streetspire'	Streetspire Oak	2" cal.	B&B, straight, full & bushy
DECIDUOUS SHRUBS					
DN	5	<i>Physocarpus opulifolius</i> 'Diabolo'	Diabolo Ninebark	30-36" ht.	#5 container
GL	14	<i>Rhus aromatica</i> 'Gro-low'	Dwarf Fragrant Sumac	12-15" ht.	#5 container
RS	6	<i>Perovskia atriplicifolia</i>	Russian Sage	24-30" ht.	#5 container
SG	6	<i>Cystis purgan</i> 'Spanish Broom'	Spanish Gold Broom	24-30" ht.	#5 container
TQ	8	<i>Chaenomeles speciosa</i> 'Texas Scarlet'	Texas Scarlet Quince	30-36" ht.	#5 container
EVERGREEN SHRUBS					
BC	3	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	6-9" ht.	#5 container
ORNAMENTAL GRASSES					
BF	25	<i>Gaillardia grandiflora</i> 'Goblin'	Dwarf Blanketflower	12-15" ht.	#1 container
FR	25	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	K. Foerster Feather Reed Grass	24-30" ht.	#5 container

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND THE LANDSCAPE PLANT LIST, MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.

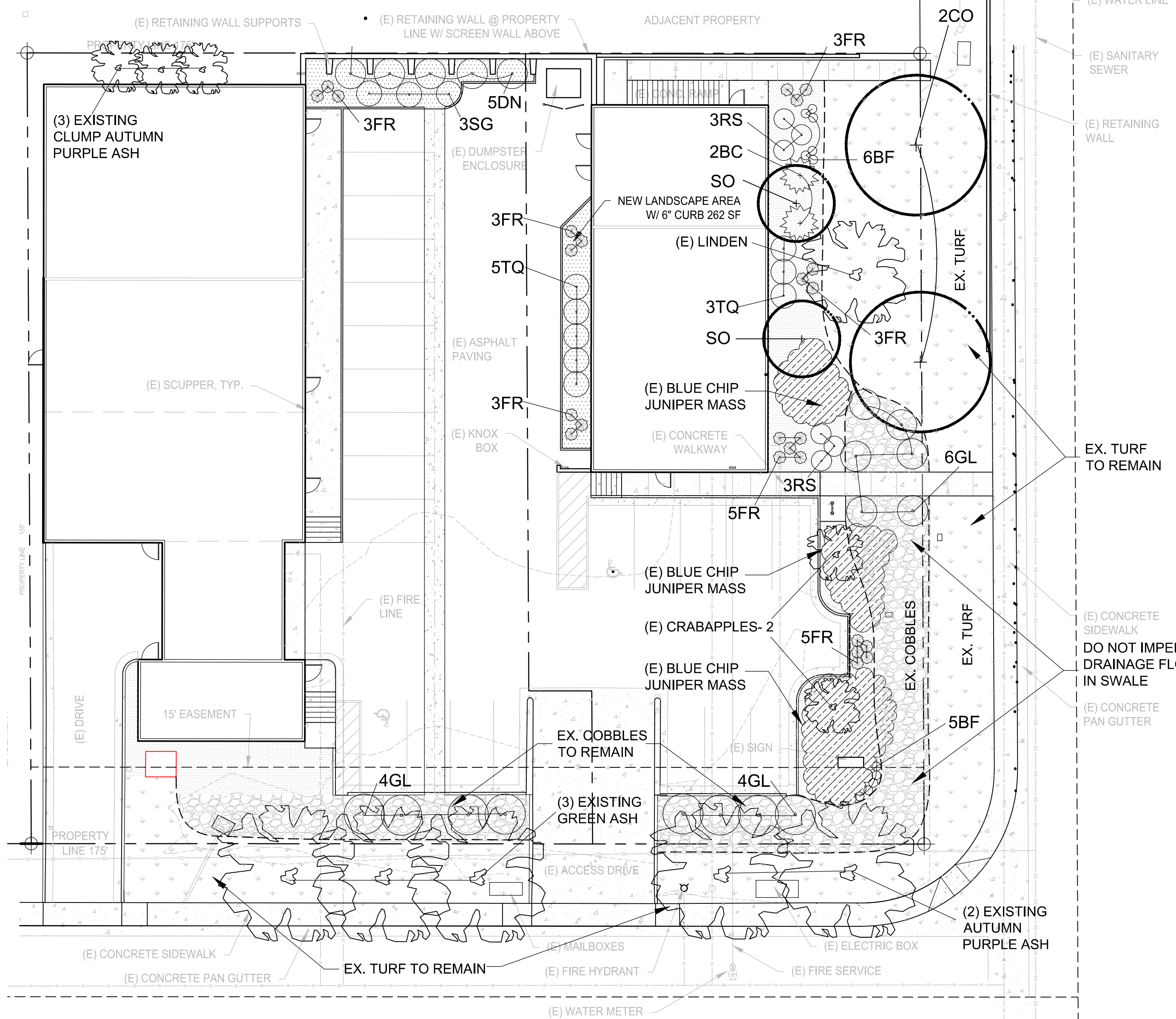
SHRUBS SHALL BE HEALTHY & WELL-ESTABLISHED IN CONTAINERS. NUMBER OF CANES SHALL BE PER ANSI Z60.1-2014



Shrub Planting Detail
 NOT TO SCALE



Deciduous Tree Planting Detail
 NOT TO SCALE



PLANT QUANTITY COMPARISON

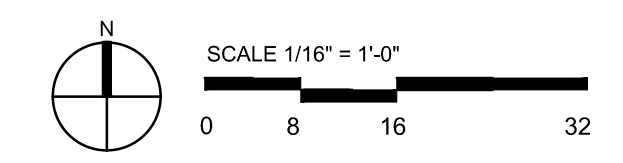
	Approved 2005 PUD Use Permit	Proposed 2022 Plan
TREES- 2.5" cal.	NA	11
Existing	17	4
Proposed	27	39
SHRUBS- 5 gal.	0	26
GRASSES- 5 gal.	23	0
1 gal.	27	11
PERENNIALS- 1 gal.		

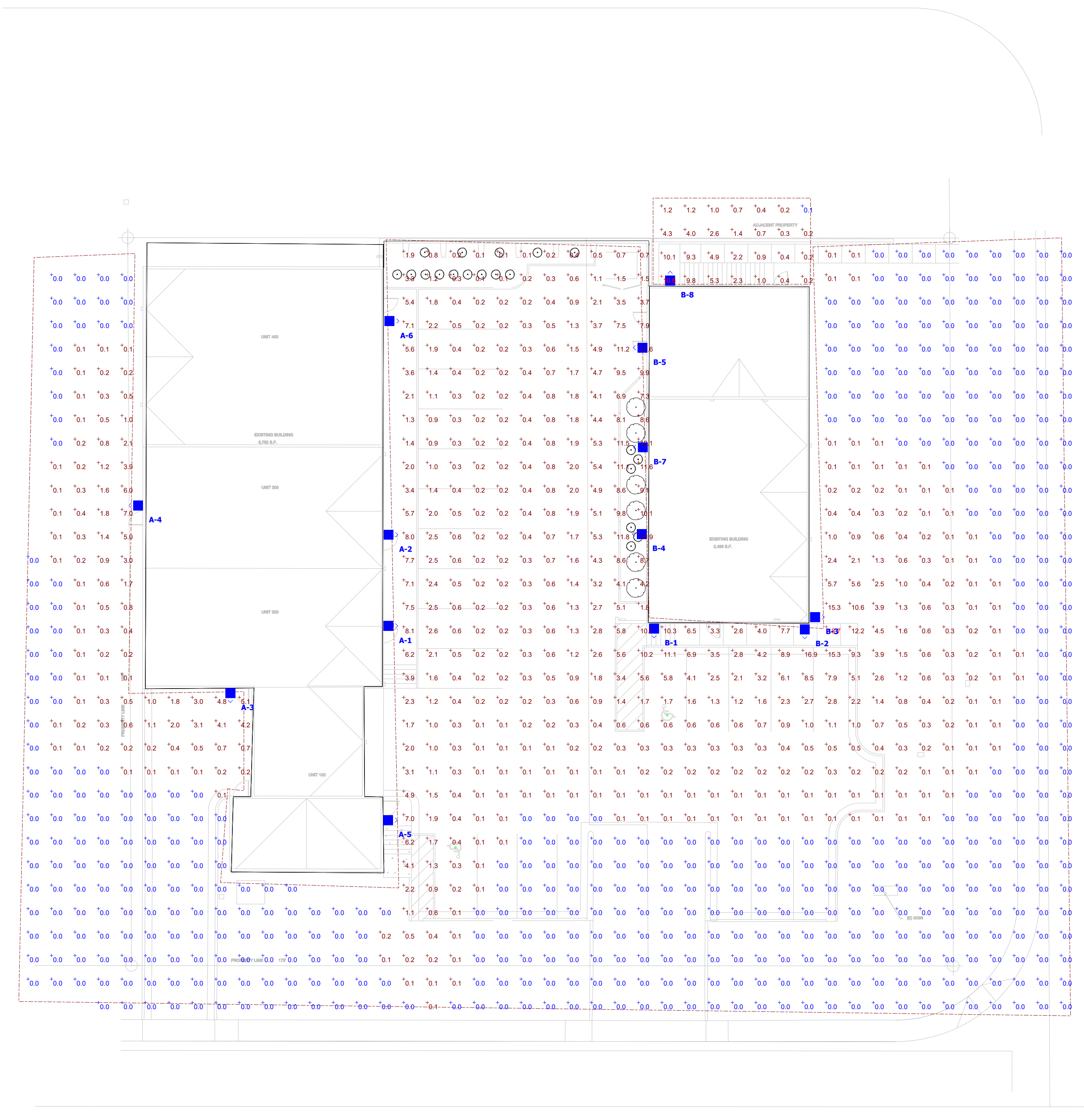
LANDSCAPE AREA DATA

LAND AREA	Approved 2005 PUD Use Permit	Proposed 2022 Plan
27,125 SF (.62 Ac.)		
BUILDING	8,186 SF	8,186 SF
LANDSCAPE AREA	6,781 SF	4,388 SF
Private		593 SF
Interior		3,673 SF
ROW		
Total Landscape		8,654 SF

LEGEND

Proposed	Existing





Plan View
Scale - 1" = 16ft

LUMINAIRE SCHEDULE												
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lamp Temperature	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
Ⓜ	A		6	NICOR, INC.	EDF1PMK8Z	EDF1PMK8Z	3000K	1	41	0.95	15.4	
Ⓜ	B		7	END GRAB, LLC	WPA/PS35/RCT/H08Z	EXISTING BUILDING LIGHT INSTALLED UNDER PREVIOUS PROJECTS (N/C)	3000K	1	4308	0.95	33.2	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	18.7 fc	0.0 fc	N/A	N/A

Luminaire Locations			
No.	Label	MH	Orientation
1	A	10.00	90.00
2	A	10.00	90.00
3	A	10.00	180.00
4	A	10.00	270.00
5	A	10.00	90.00
6	A	10.00	90.00
1	B	12.00	180.00
2	B	12.00	180.00
3	B	12.00	90.00
4	B	12.00	270.00
5	B	12.00	270.00
7	B	12.00	270.00
8	B	12.00	0.00

NOTE:
ALL NEW EXTERIOR SITE LIGHTING TO BE FULL CUTOFF (DARK SKY COMPLIANT) WITH LED COLOR TEMPERATURE OF 3000K MAXIMUM.