Coal Creek Ranch Filing 3 Subdivision Regulations

This summary is intended to aid property owners and design professionals understand the regulations applicable to the Coal Creek Ranch Filing 3 and Coal Creek Ranch Filing 3 Replat A Subdivisions. Questions can be directed to the Department of Planning and Building Safety at 303-335-4592 or to planning@LouisvilleCO.gov.

Building Codes:

Applicable Building Codes for Single-Family new construction for properties damaged or destroyed by the Marshall Fire can be found on our <u>Louisville Rebuilds</u> webpage

Zoning Regulations:

The Coal Creek Ranch Filing 3 Subdivision is subject to Coal Creek Ranch Filing 3 (PUD) and the Coal Creek Ranch General Development Plan (GDP).

• Principal Structure Setbacks:

Front Yard: 20 Feet Side Yard, Interior: 5 Feet Side Yard, Street: 15 Feet Rear Yard: 20 Feet

*Front and Rear Yard for Lots < 100 Feet Deep:

*Rear Yard for Lots 37, 38, 39, 40, 96, 97, 111, and 118: 10 Feet

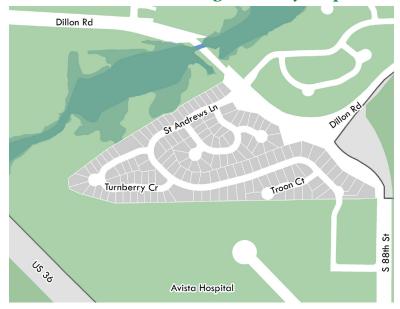
*Side Yard on Dillon Road, Lot 1:5 Feet

- Maximum Height: 35' for lots on grade less than 8%, 45' for lots on grade more than 8%
- Maximum Lot Coverage: None.

*Easements and the Floodplain may further restrict development. See "Coal Creek Ranch Filing 3" and Coal Creek Ranch Filing 3 Replat A subdivisions for more information. An Improvement Survey Plat (ISP) is required with submission of the building permit to verify all easements.

*Contact the Planning Department if it appears previous development was outside of the above parameters.

Coal Creek Ranch Filing 3 Vicinity Map



Permit Requirements:

Click here for a checklist of items required to submit a building permit. Below are a few items to prepare well in advance of applying for a permit:

- Improvement Survey Plat (ISP) or Land Survey Plat provided by a Colorado licensed surveyor
- Soils report prepared by a Colorado licensed geotechnical engineer.

Additional Information:

 Maximum Height: Height is measured from existing grade, and taken as an average between the highest and lowest exterior corners at finished grade. See this <u>handout</u> or contact the Planning Department for more information.

Department of Planning and Building Safety

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