

Coal Creek Ranch Filing 3 Subdivision Regulations

This summary is intended to aid property owners and design professionals understand the regulations applicable to the Coal Creek Ranch Filing 3 and Coal Creek Ranch Filing 3 Replat A Subdivisions. Questions can be directed to the Department of Planning and Building Safety at 303-335-4592 or to planning@LouisvilleCO.gov.

Building Codes:

Applicable Building Codes for Single-Family new construction for properties damaged or destroyed by the Marshall Fire can be found on our [Louisville Rebuilds](#) webpage

Zoning Regulations:

The Coal Creek Ranch Filing 3 Subdivision is subject to [Coal Creek Ranch Filing 3 \(PUD\)](#) and the Coal Creek Ranch General Development Plan (GDP).

- Principal Structure Setbacks:
 - Front Yard: 20 Feet
 - Side Yard, Interior: 5 Feet
 - Side Yard, Street: 15 Feet
 - Rear Yard: 20 Feet
 - *Front and Rear Yard for Lots <100 Feet Deep: 15 Feet
 - *Rear Yard for Lots 37, 38, 39, 40, 96, 97, 111, and 118: 10 Feet
 - *Side Yard on Dillon Road, Lot 1: 5 Feet
- Maximum Height: 35' for lots on grade less than 8%, 45' for lots on grade more than 8%
- Maximum Lot Coverage:
 - None.
- *Easements and the Floodplain may further restrict development. See "[Coal Creek Ranch Filing 3](#)" and [Coal Creek Ranch Filing 3 Replat A](#) subdivisions for more information. An Improvement Survey Plat (ISP) is required with submission of the building permit to verify all easements.

**Contact the Planning Department if it appears previous development was outside of the above parameters.*

Coal Creek Ranch Filing 3 Vicinity Map



Permit Requirements:

Click [here](#) for a checklist of items required to submit a building permit. Below are a few items to prepare well in advance of applying for a permit:

- Improvement Survey Plat (ISP) or Land Survey Plat provided by a Colorado licensed surveyor
- Soils report prepared by a Colorado licensed geotechnical engineer.

Additional Information:

- **Maximum Height:** Height is measured from existing grade, and taken as an average between the highest and lowest exterior corners at finished grade. See this [handout](#) or contact the Planning Department for more information.

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