

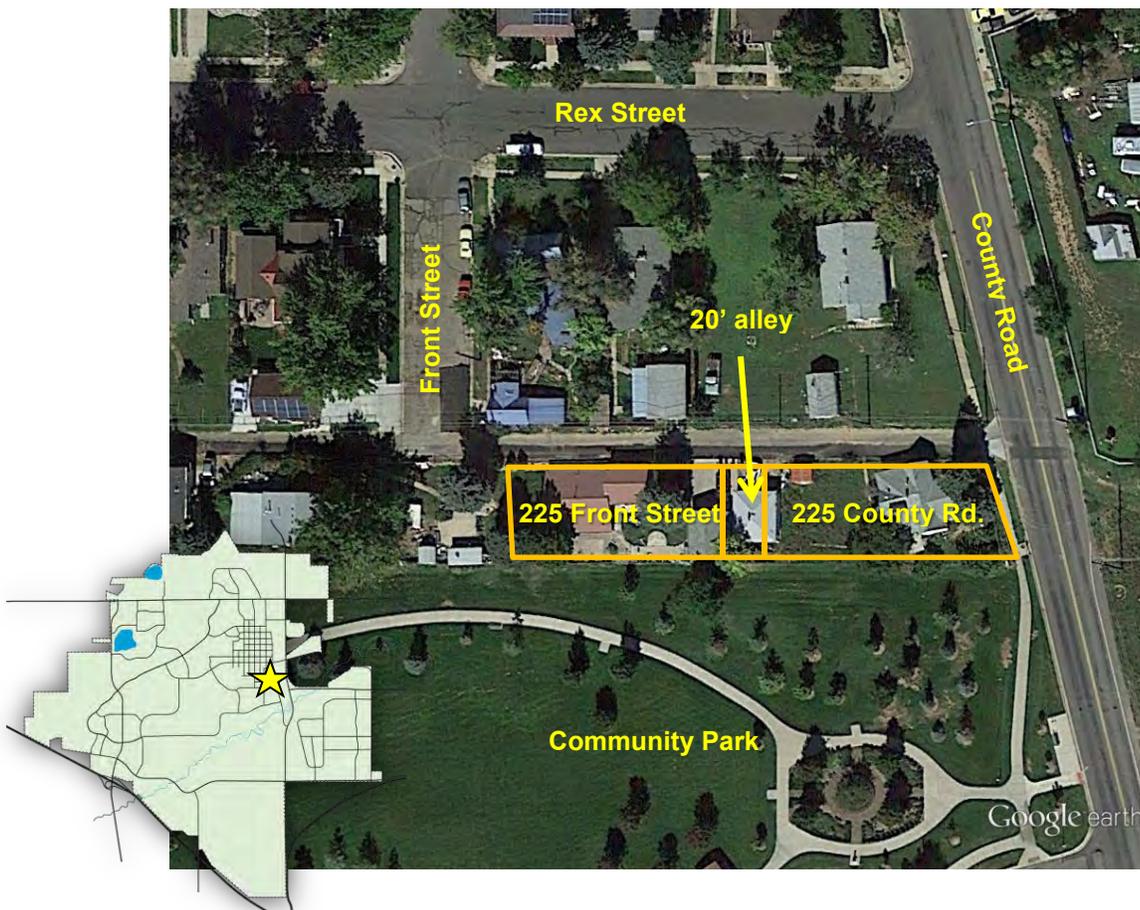
SUBJECT: **ORDINANCE NO. 1681, SERIES 2015 – AN ORDINANCE APPROVING THE VACATION OF A 20-FOOT WIDE UNIMPROVED ALLEY BETWEEN 225 COUNTY RD. (LOTS 12 AND 13) AND 224 FRONT STREET (LOTS 10 AND 11), BLOCK 9, MURPHY PLACE - 2nd Reading – Public Hearing (Advertised Daily Camera 02/22/2015)**

DATE: **MARCH 3, 2015**

PRESENTED BY: **SEAN MCCARTNEY, PLANNING AND BUILDING SAFETY**

BACKGROUND:

The applicant, Lawrence Verbeck, representing both 224 Front Street and 225 County Road, is requesting the City vacate an unimproved alley located between 224 Front Street and 225 County Road. Two private garages serving each property are located within the alley's public right-of-way. The construction dates of the garages are unknown. This vacation request is intended to adjust the property lines so the garages are located on private property.



SUMMARY OF PROPOSAL:

Two existing garages, one being used by 224 Front Street and the other being used for 225 County Road are located in an unimproved public alley right-of-way. The construction dates of the garages are unknown because no building permit exists for either structure.

The two requesting properties are located on the south side of an improved public alley which runs east and west between Roosevelt Street and County Road, north of Community Park. The improved alley provides access to 5 properties. The alley being requested for vacation is unimproved and does not provide access to private properties. No utilities are located in the unimproved alley.

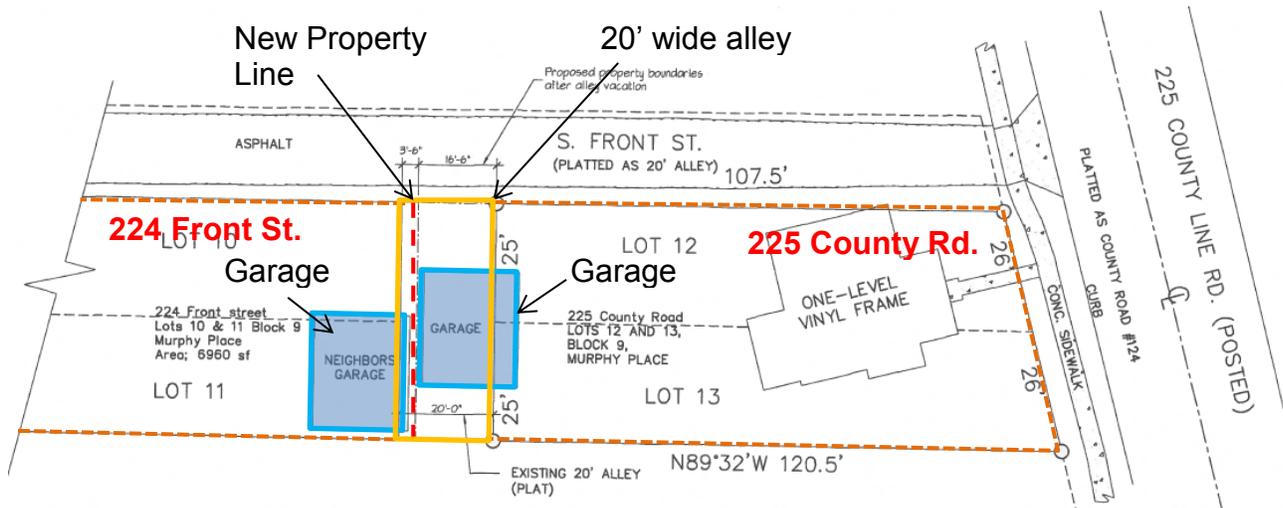
The two properties are zoned Residential Medium Density (RM) and are located within the Old Town Overlay District. The regulations for the Old Town Overlay District are found in Section 17.12.050 of the Louisville Municipal Code (LMC). The rear-yard setback requirement for an accessory structure in Section 17.12.050 is 3 feet from the property line. A zero rear-yard setback is permitted if the property is adjacent to an improved 20' wide alley. The alley is unimproved; as such, the rear-yard setback requirement for these properties is 3 feet.

On October 15, 2014 the Board of Adjustment approved a rear yard setback variance to allow for a 1 foot rear yard setback variance to allow for the garages to remain in place if the alley is vacated.

The Public Works Department recommends the unimproved alley be vacated.

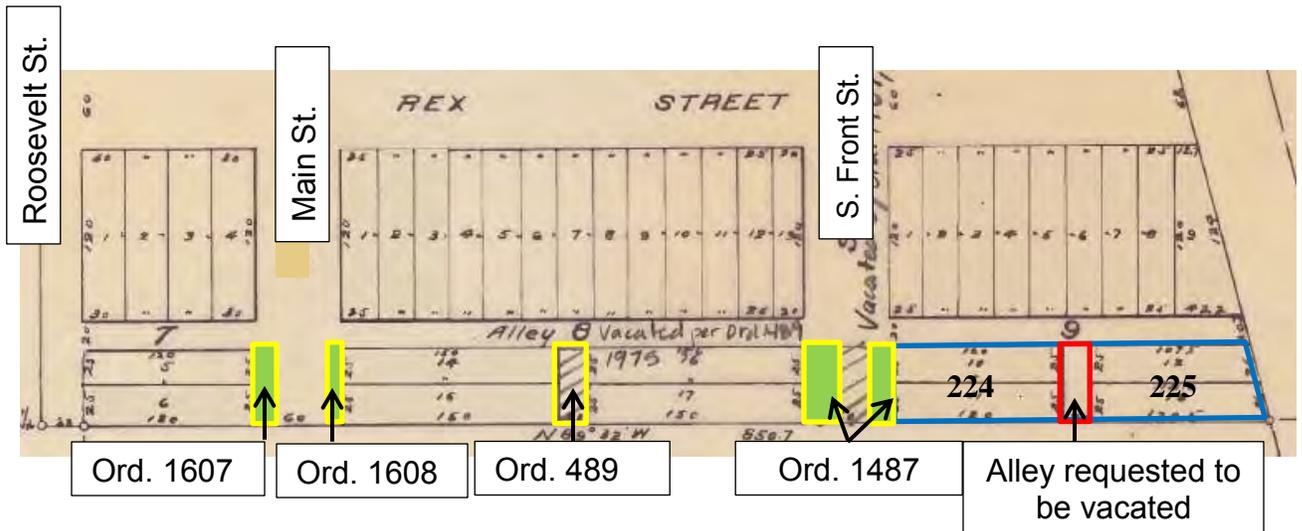
If the alley is vacated by City Council, state statutes require ownership of the alley be divided equally. In this case, 10 feet going to each 224 Front Street and 225 County Road.

Attached in the Application Documents is an agreement between the two owners to allow for 18 feet to be given to 225 County Road and 2 feet to be given to 224 Front Street if the vacation is approved. According to the City Attorney, this agreement can be executed via deed and would be done so after the vacation has been recorded with Boulder County.



There have been three previous public right of way vacations near Community Park:

- Ordinance 489 (1975) – a request to vacate the alley between Lots 14 and 15, and Lots 16 and 17, Block 8 of Murphy Place.
- Ordinance 1487 (2006) – a request to vacate a portion of South Front Street; the Ordinance requires the creation of a new 15' wide and 50' long right-of-way to connect Community Park to the City alley on the north end of the old right of way.
- Ordinances 1607 & 1608 (2011) - a request to vacate a portion of South Main Street south of the alley in exchange for park improvements.



SUBJECT: ORDINANCE NO. 1681, SERIES 2015

DATE: MARCH 3, 2015

PAGE 4 OF 4

FISCAL IMPACT

There are no fiscal impacts associated with vacating the 20-foot unimproved alley.

RECOMMENDATIONS

Staff recommends City Council approve Ordinance 1681, Series 2015, an Ordinance approving the vacation of a 20-foot wide unimproved alley between 225 County Rd. (lots 12 and 13) and 224 Front Street (lots 10 and 11), block 9, Murphy Place subdivision.

ATTACHMENTS:

1. Ordinance No. 1681, Series 2015
2. Application Documents
3. Exhibit A
4. PowerPoint

**ORDINANCE NO. 1681
SERIES 2015**

**AN ORDINANCE APPROVING THE VACATION OF A 20-FOOT WIDE
UNIMPROVED ALLEY WITHIN LOTS 10, 11, 12 AND 13, BLOCK 9,
MURPHY PLACE SUBDIVISION IN THE CITY OF LOUISVILLE.**

WHEREAS, by the plat of Murphy Place Subdivision, recorded May 25, 1907 in Book 3, Page 28, Boulder County Records, there was dedicated to the City a 20-foot wide by 49.96-foot long right-of-way for a north-south alley lying between the western property line of Lots 10 and 11, Block 9, Murphy Place Subdivision and the eastern property lines of Lot 12 and 13, Block 9, Murphy Place Subdivision, which 999 square-foot area is hereafter referred to as the “Alley Right-of-Way”; and

WHEREAS, proper application has been made to the City for vacation of the Alley Right-of-Way; and

WHEREAS, the City Council has determined that the Alley Right-of-Way for which vacation has been requested is not and has not been used or required as a roadway or thoroughfare for the public; and

WHEREAS, the City Council has determined that the Alley Right-of-Way for which vacation is requested is not and will not be needed for any public purposes; and

WHEREAS, the City Council has determined that the Alley Right-of-Way for which vacation is requested is not being used or held for park purposes or for any other governmental purposes; and

WHEREAS, the City Council desires to approve the application and vacate the City’s interests in the Alley Right-of-Way described herein for which vacation is requested, subject to the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO:

Section 1. Subject to the provisions of Section 2 hereof, the City hereby vacates that certain 20-foot wide by 49.96-foot long right-of-way for a north-south alley lying between the western property line of Lots 10 and 11, Block 9, Murphy Place Subdivision and the eastern property lines of Lot 12 and 13, Block 9, Murphy Place Subdivision, which 999 square-foot area is hereafter referred to as the “Alley Right-of-Way”. Title to the vacated Alley Right-of-Way shall vest in the manner provided by law.

Section 2. As a condition of recording this vacation ordinance, there shall be simultaneously recorded deeds effecting the disposition of title to the western two feet, more or less, of the Alley Right-of-Way so it becomes part of 224 Front Street and the disposition of title to the eastern eighteen feet, more or less, of the Alley Right-of-Way so it becomes part of 225 County Road.

Section 3. The Mayor and City Manager, or either of them, is authorized to execute such additional documents as may be necessary to evidence the vacation of the right-of-way herein vacated, including but not execution of quit claim deeds. All action heretofore taken in furtherance of the vacation of such right-of-way are hereby ratified and confirmed.

Section 4. All other ordinances or portions thereof inconsistent or in conflict with this ordinance or any portion hereof are hereby repealed to the extent of such inconsistency or conflict.

INTRODUCED, READ, PASSED ON FIRST READING, AND ORDERED PUBLISHED this ____ day of _____, 2015.

Robert P. Muckle, Mayor

ATTEST:

Nancy Varra, City Clerk

APPROVED AS TO FORM:

Light | Kelly, P.C.
City Attorney

PASSED AND ADOPTED ON SECOND AND FINAL READING, this ____ day of _____, 2015.

Robert P. Muckle, Mayor

ATTEST:

Nancy Varra, City Clerk

LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION
 Firm: LAURENCE VERBECK
 Contact: SAME
 Address: 936 PARKVIEW ST
LOUISVILLE
 Mailing Address: P.O. Box 1663
BOULDER 80306
 Telephone: 303 931 9386
 Fax: X
 Email: RENZO@VERBECKDESIGN.COM

OWNER INFORMATION
 Firm: SAME AS ABV.
 Contact: _____
 Address: _____
 Mailing Address: _____
 Telephone: _____
 Fax: _____
 Email: _____

REPRESENTATIVE INFORMATION
 Firm: SAME AS ABV.
 Contact: _____
 Address: _____
 Mailing Address: _____
 Telephone: _____
 Fax: _____
 Email: _____

PROPERTY INFORMATION
 Common Address: 225 COUNTY RD
 Legal Description: Lot 12913 Blk 9
 Subdivision MURPHY
 Area: 5700 Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION
 Summary: ALLEY VACATION
SEE NARRATIVE

 Current zoning: _____ Proposed zoning: _____

SIGNATURES & DATE
 Applicant: _____
 Print: LAURENCE VERBECK
 Owner: LAURENCE VERBECK
 Print: _____
 Representative: _____
 Print: _____

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

City of Louisville Planning.
Nov 6 2014

Re;
Alley Vacation / Re-plat

Applicant;
Laurence Verbeck, owner of 225 County Road, Louisville, Lots 12 & 13, BLOCK 9, Murphy Place

Narrative;
The owners of the residential properties at 225 Country Road and 224 Front Street, Louisville, request vacation of the 50' x 20' alley between their properties with the resultant property allotted to the owners per the accompanying survey documents.

In October 2014, the applicant requested and the Board of Adjustments granted a setback variance for this alley vacation. The alley in question is an abandon stub for which there is no record of public use; each of the property owners garages, built perhaps in the 1950s, are partially in the alley and therefore do not conform to current City Planning regulation. Vacation of the alley, along with the already approved variance, will allow the garages to come into compliance and there by allow appropriate maintenance of the structures.

Laurence Verbeck



03/14/2014 01:27 PM
Boulder County Clerk, CO

RF: \$11.00

03370307

Page: 1 of 1
DF: \$0.00

QUIT CLAIM DEED

This Quit Claim Deed made this 11th day of March, 2014 by and between **LAURENCE VERBECK**, hereinafter **GRANTOR** and **225 County LLC**, the mailing address of which is P. O. Box 1663, Boulder, Colorado 80306, hereinafter **GRANTEE**.

WITNESSETH, That the Grantors, for and in consideration of the sum of TEN DOLLARS (\$10.00), lawful money of the United States of America, to in hand paid by the Grantee, the receipt whereof is hereby acknowledged, does by these presents remise, release and forever QUIT CLAIM, unto the Grantee, and to its successors and assigns, that certain parcel of land, situate, lying and being in the County of Boulder, State of Colorado, described as follows, to-wit:

Lots 12-13 Block 9 Murphy Place, Louisville

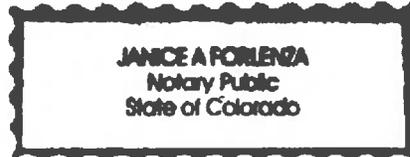
also known as: **225 County Road Louisville, Co. 80027**

Together with all appurtenant water, water rights, ditches and ditch rights, and Together with any vacated rights-of-way that have attached to said lots by operation of law.

Signed this 11th day of MARCH, 2014.

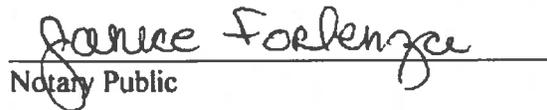

Grantor, Laurence Verbeck

STATE OF COLORADO)
)ss.
COUNTY OF BOULDER)



The foregoing instrument was acknowledged before me this 11th day of March, 2014 by **Laurence Verbeck**.

Witness my hand and official seal. My Commission expires: 12.22.2017


Notary Public



12/11/2013 10:58 AM
Boulder County Clerk, CO

RF: \$16.00

03356811

Page: 1 of 2
DF: \$0.00

**PERSONAL REPRESENTATIVE'S
DEED OF DISTRIBUTION**

THIS DEED is dated December 10, 2013, and is made
between Denise Ehrmann
221 Front St. Louisville, CO 80027

the "Grantor," as Personal Representative of the estate of
Bernadine Mae Sawyer
, deceased, and

Denise Ehrmann
MARK Edward Sawyer
(whether one, or more than one), the "Grantee," whose legal address is listed below
Denise Ehrmann 221 Front St Louisville, CO 80027
Mark Edward Sawyer 1537 Bain Dr. Erie CO 80516
of the Louisville * County of Boulder and State of Colorado

WHEREAS, the decedent died on the date of APRIL 25, 2010 and Grantor was duly appointed
Personal Representative of said estate by the District Court in and for the
County of Boulder, State of Colorado, Probate No. 2013PR24, on the date of
FebrUARY 12, 2013, and is now qualified and acting in said capacity:

NOW THEREFORE, pursuant to the powers conferred upon Grantor by the Colorado Probate Code, Grantor does
hereby convey, assign, transfer and release unto Grantee (in joint tenancy)** as the person entitled to distribution, the
following described real property situate in the City of Louisville County of Boulder
State of Colorado:
Lot10-11 BLK 9 Murphy Place & ADJ ELY 12FT Vac S.Front St

also known by street address as: 224 Front St. Louisville, CO 80027
and assessor's schedule or parcel number: 157508456004

With all appurtenances.

IN WITNESS WHEREOF, the Grantor has executed this deed on the date set forth above.

Denise Ehrmann
Personal Representative of the estate of
Bernadine M Sawyer deceased

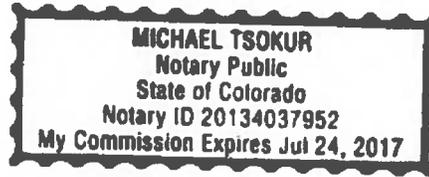
*Insert "City and" where applicable.
**Strike as required.

16

STATE OF COLORADO

COUNTY OF

} ss.



The foregoing instrument was acknowledged before me this 11th day of December, 2013,
 by _____ as Personal Representative of
 the estate of _____ Deceased.

Witness my hand and official seal.
 My commission expires:

 Notary Public

 Name and Address of Person Creating Newly Created Legal Description (§ 38-35-106.5, C.R.S.)

225 County LLC, a Colorado Limited Liability Company

Statement of Authority and Operating Agreement

June 9, 2014

Laurence Verbeck is the Managing Member and only Member of **225 County LLC** which holds title to the residential property; 225 County Road Louisville, CO. 80027.

Laurence Verbeck has the authority to act on behalf of **225 County LLC**.

Laurence Verbeck, Managing Member, 225 County LLC



MANAGING MEMBER
9 JUNE 14

AGREEMENT TO COOPERATE

This agreement, dated 29 January 2014 is between;

Laurence Verbeck (Renzo), owner of the residence at 225 County Road Louisville Co. 80027 (AKA Lots 12 and 13, Block 9, Murphy Place).

Renzo@verbeckdesign.com
303-931-9386

Mailing Address;
P.O. Box 1663
Boulder CO. 83036

AND

Denise Ehrmann and Mark Sawyer owners of the residence at 224 Front St Louisville Co. 80027 (AKA lots 10 and 11, Block 9 Murphy Place).

denise.ehrmann@gmail.com
303-710-5724

Mailing address;
224 Front St Louisville Co 80027.

Collectively known as the "Property Owners"

MARK SAWYER
MAIL ADDRESS:
1537 BAIN DRIVE
ERIE CO 80516
MARK_SAWYER@COMCAST.NET

The Improvement Location Certificate (ILC) by FLATRIONS INC, dated 2013, (commissioned by Verbeck) illustrates an alley between the Owners Properties, which measures 20 feet wide by 50 feet deep (The Alley). Verbeck 's garage is shown 20.2 feet into the Alley and Ehrmann' s garage is shown roughly 2 feet into the Alley, with an empty walking space between these two garages of approximately 3 feet.

Ehrmann represents a separate survey (Verbeck is not in receipt of said survey) depicts her garage entirely out of the Alley. The Property Owners agree that the discrepancy of surveys is substantially immaterial.

The Property Owners have agreed to petition the City to vacate the Alley by way of various Land Use procedures as required by the City of Louisville. The Property Owners agree that, upon vacation of the Alley their new shared East / West property boundary shall be located exactly between (or as close as possible to be practical) their two garages.

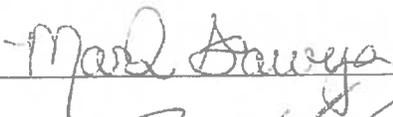
The Property Owners agree that Verbeck shall submit, shepherd and pay for applications and related fees (including possibly further professional survey fees), attend hearings and related as required by the City of Louisville in the effort to vacate the Alley.

Ehrmann and Sawyer shall not be responsible to Verbeck for reimbursement of said application fees and or professional services. Ehrmann and Sawyer shall cooperate by signing application and related forms,

as required by the City of Louisville in a timely manor in the endeavor to vacate the Alley as described above; such cooperation shall not unreasonably withheld by Ehrmann and or Sawyer.

Verbeck may quit the process at any time without penalty or obligation to Ehrmann or Sawyer.

Denise Ehrmann  Date 2-7-14

Mark Sawyer  Date 3-17-14

Laurence Verbeck  Date 12-MARCH-14

Exhibit A

Description of a Vacated Western Portion – 20 foot wide alley

A portion of the 20 foot wide alley in Block 9, MURPHY PLACE, lying between Lots 10, 11, 12 and 13, located in the southeast quarter of Section 8, Township 1 South, Range 69 West of the Sixth Principal Meridian, County of Boulder, State of Colorado, more particularly described as follows:

Beginning at the Southeast corner of Lot 11, Block 9, MURPHY PLACE;

thence North 00 degrees 07 minutes 00 seconds West, along the easterly line of Lots 11 and 10, Block 9, MURPHY PLACE, a distance of 49.96 feet to the northeast corner of Lot 10;

thence South 89 degrees 33'07" East, along the north line of Lot 10 extended easterly, a distance of 3.04 feet;

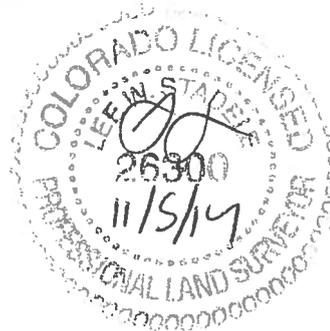
thence South 00 degrees 24'20" West, along a line that is midway between the existing garages, that are partially located in the 20 foot wide platted alley, a distance of 49.96 feet, to a point on the south line of Block 9, MURPHY PLACE;

thence North 89 degrees 32'00" West, along the south line of Block 9, a distance of 2.58 feet to the **Point of Beginning**.

This parcel contains 140 square feet.



prepared by Lee Stadele
Colorado PLS 26300
17126e1.doc

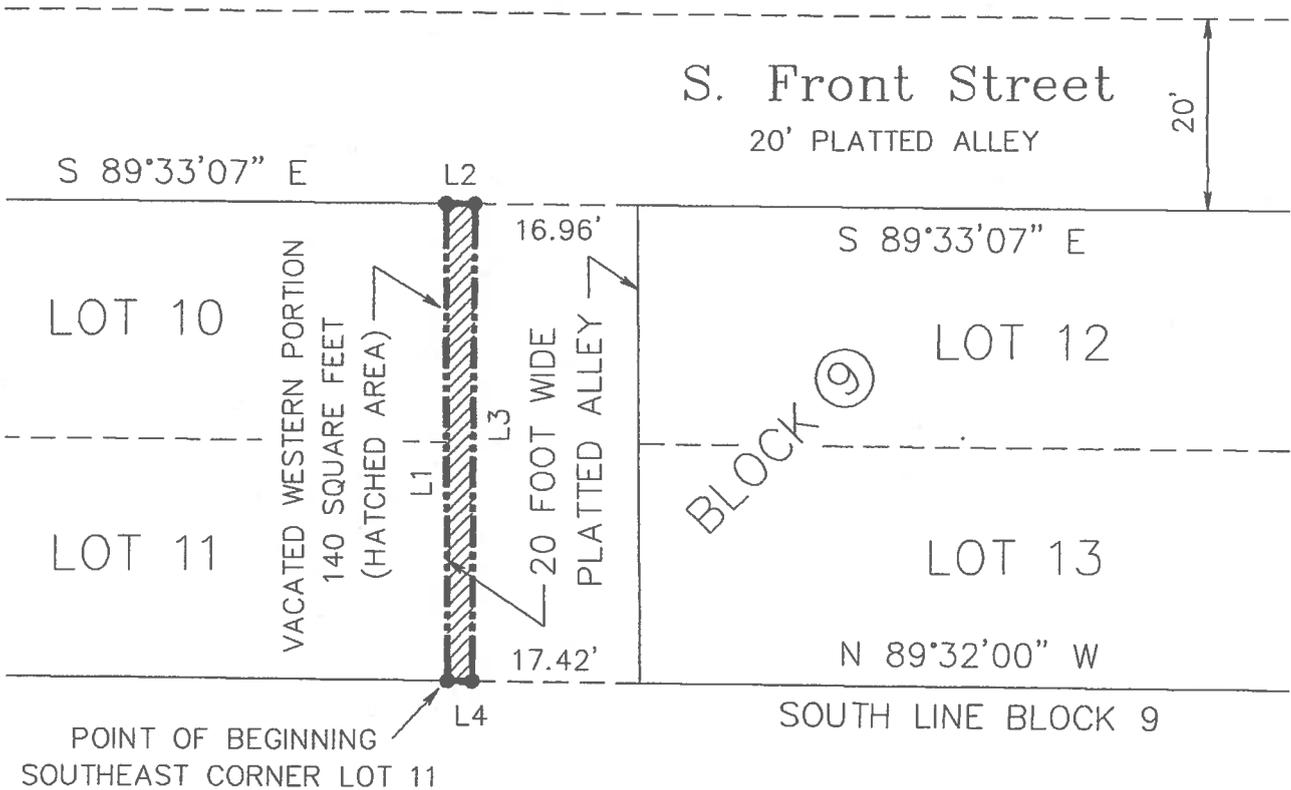


637 South Broadway . Suite C – Table Mesa Shopping Center
Boulder . Colorado . 80305

LeeStadele@FlagstaffSurveying.com 303.499.9737

- Vacation Exhibit -

OVER A PORTION OF THE PLATTED ALLEY BETWEEN LOTS 10, 11, 12 + 13
 BLOCK 9 . MURPHY PLACE . LOCATED IN THE SOUTHEAST 1/4
 OF SECTION 8 . TOWNSHIP 1 SOUTH . RANGE 69 WEST OF THE 6TH P.M.
 IN THE CITY OF LOUISVILLE . BOULDER COUNTY . COLORADO



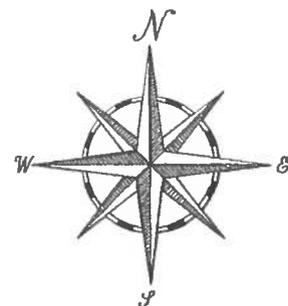
- Line Table -

L1 - NORTH 00-07-00 WEST / 49.96 FEET
L2 - SOUTH 89-33-07 EAST / 3.04 FEET
L3 - SOUTH 00-24-20 WEST / 49.96 FEET
L4 - NORTH 89-32-00 WEST / 2.58 FEET

DEGREES-MINUTES-SECONDS / DECIMAL FEET

Flagstaff Surveying Inc.

Table Mesa Shopping Center
 637 South Broadway . Suite C
 Boulder . Colorado . 80305
 303.499.9737
 17126a-1.dwg . 4 November 2014



SCALE : 1" = 20'



U.S. SURVEY FEET

Exhibit A

Description of a Vacated Eastern Portion – 20 foot wide alley

A portion of the 20 foot wide alley in Block 9, MURPHY PLACE, lying between Lots 10, 11, 12 and 13, located in the southeast quarter of Section 8, Township 1 South, Range 69 West of the Sixth Principal Meridian, County of Boulder, State of Colorado, more particularly described as follows:

Commencing at the southeast corner of Lot 11, Block 9, MURPHY PLACE;

thence South 89 degrees 32'00" East, along the south line of Block 9, distance of 2.58 feet, to the **Point of Beginning**;

thence North 00 degrees 24'20" East, along a line that is midway between the existing garages, that are partially located in the 20 foot wide platted alley, a distance of 49.96 feet to a point on the north line of Lot 10, extended easterly;

thence South 89 degrees 33'07" East, along the north line of Lot 10 extended easterly, a distance of 16.96 feet to the northwest corner of Lot 12;

thence South 00 degrees 07 minutes 00 seconds East, along the westerly line of Lots 12 and 13, Block 9, MURPHY PLACE, a distance of 49.97 feet to the southwest corner of Lot 13;

thence North 89 degrees 32'00" West, along the south line of Block 9, a distance of 17.42 feet to the **Point of Beginning**.

This parcel contains 859 square feet.

prepared by Lee Stadele
Colorado PLS 26300
17126e2.doc

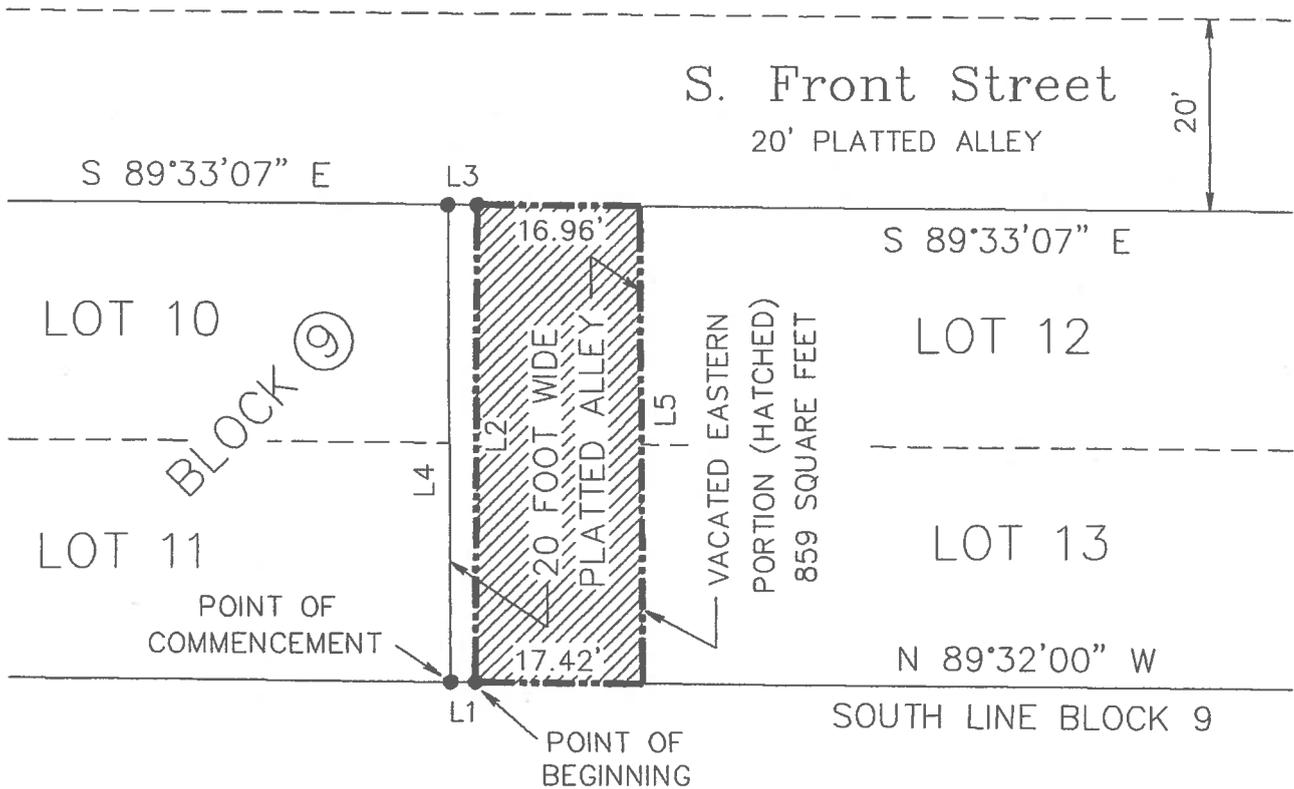


637 South Broadway . Suite C – Table Mesa Shopping Center
Boulder . Colorado . 80305

LeeStadele@FlagstaffSurveying.com 303.499.9737

- Vacation Exhibit -

OVER A PORTION OF THE PLATTED ALLEY BETWEEN LOTS 10, 11, 12 + 13
 BLOCK 9 . MURPHY PLACE . LOCATED IN THE SOUTHEAST 1/4
 OF SECTION 8 . TOWNSHIP 1 SOUTH . RANGE 69 WEST OF THE 6TH P.M.
 IN THE CITY OF LOUISVILLE . BOULDER COUNTY . COLORADO



- Line Table -

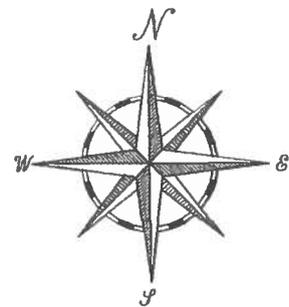
L1 - SOUTH 89-32-00 EAST / 2.58 FEET
L2 - NORTH 00-24-20 EAST / 49.96 FEET
L3 - NORTH 89-33-07 WEST / 3.04 FEET
L4 - SOUTH 00-07-00 EAST / 49.96 FEET
L5 - SOUTH 00-07-00 EAST / 49.97 FEET

DEGREES-MINUTES-SECONDS / DECIMAL FEET

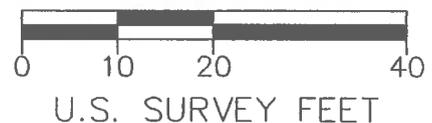
Flagstaff Surveying Inc.

Table Mesa Shopping Center
 637 South Broadway . Suite C
 Boulder . Colorado . 80305
 303.499.9737

17126a-1.dwg . 4 November 2014



SCALE : 1" = 20'



City Council – Public Hearing

224 Front Street and 225 County Road – Alley vacation

ORDINANCE NO. 1681, SERIES 2015 – AN ORDINANCE APPROVING THE VACATION OF A 20-FOOT WIDE UNIMPROVED ALLEY BETWEEN 225 COUNTY RD. (LOTS 12 AND 13) AND 224 FRONT STREET (LOTS 10 AND 11), BLOCK 9, MURPHY PLACE

Prepared by:
Dept. of Planning & Building Safety

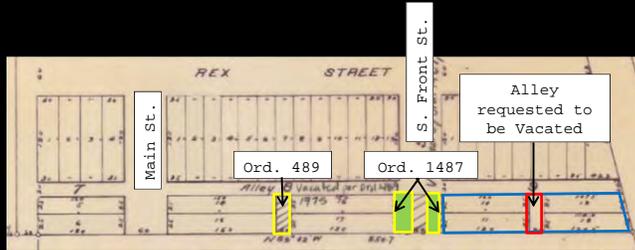
224 Front Street and 225 County Road



- Request to vacate alley
- Existing Garages located in alley
- Vacation would create non-conforming setbacks
- Variance required prior to ROW Vacation
- No changes to garages
- Variance approved by BOA on October 15, 2014

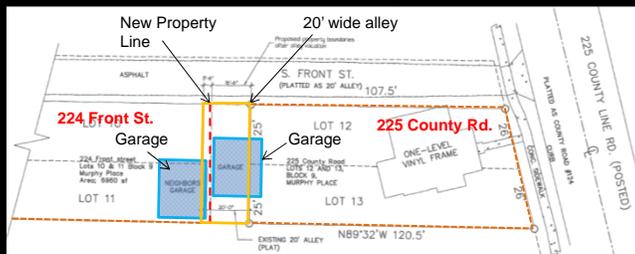


224 Front Street and 225 County Road



- Ordinance 489 (1975) – a request to vacate the alley between Lots 14 and 15, and Lots 16 and 17, Block 8 of Murphy Place.
- Ordinance 1487 (2006) – a request to vacate a portion of South Front Street south of the alley.

224 Front Street and 225 County Road



224 Front Street and 225 County Road

Staff recommends City Council approve Ordinance 1681, Series 2015, an Ordinance approving the vacation of a 20-foot wide unimproved alley between 225 County Rd. (lots 12 and 13) and 224 Front Street (lots 10 and 11), Block 9, Murphy Place subdivision

SUBJECT: ADOPTION OF THE WATER EFFICIENCY PLAN UPDATE

DATE: MARCH 3, 2015

PRESENTED BY: KURT KOWAR, PUBLIC WORKS

SUMMARY:

To be eligible for State financial assistance for water, wastewater and stormwater system improvements, State law (CRS §37-60-126) requires Colorado cities to have current water efficiency plans. The City has applied for a low interest loan to help finance improvements to the City's wastewater treatment plant and stormwater system. To comply with CRS §37-60-126, in January of 2014, staff applied for a grant with the Colorado Water Conservation Board (CWCB) to update the City's Water Efficiency Plan, which was last updated in 1996. The CWCB awarded the City a grant of \$40,528 and the City hired CH2M Hill Engineers, Inc. to update the Plan based on grant funding.

The proposed Plan highlights current and future water conservation measures the City has already implemented or will consider implementing to promote efficient use of the City's water resources. Table 15 found on page 41 of the Plan summarizes these measures. The measures are guidelines, not requirements, to help promote water conservation.

As required by CRS §37-60-126, staff published a draft of the Plan for public comment from September 10, 2014, to November 10, 2014. The public comments and responses to these comments can be found on page 63 of the Plan. After incorporating comments and revisions into the Plan, and to ensure the Plan satisfied all applicable requirements, staff presented the draft Plan to the CWCB. CWCB reviewed and approved the Plan. Staff now asks for City Council review and adoption of the Plan.

FISCAL IMPACT:

As noted above, the State requires cities to have a current Water Efficiency Plan to be eligible for low interest loans from the State. Louisville has applied for such a loan to help fund the Wastewater Treatment Plant and the Lafayette-Louisville Boundary Area Drainage Improvements projects. Table 18 on page 53 of the Plan lists various optional Rebates, Incentives and Audits with a total cost of \$28,000. The 2015 budget includes \$14,000 for existing program offerings. Staff will continue to evaluate the most cost-effective options to promote water conservation within the existing budget.

RECOMMENDATION:

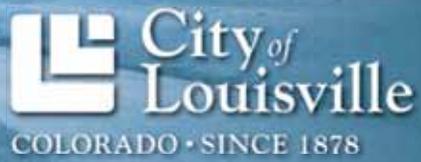
Staff recommends City Council adopt the proposed Water Efficiency Plan.

ATTACHMENT(S):

1. City of Louisville Water Efficiency Plan Update
2. Colorado Water Conservation Board Plan Approval Letter

Water Efficiency Plan

Prepared for



January 2015



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Water Efficiency Plan

Prepared for
City of Louisville

January 2015



Contents

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1.2 Water Supply and Reliability.....	1-1
1.3 Supply-Side Limitations and Future Needs.....	1-2
2 Water Demand and Historical Demand Management	2-1
2.1 Service Area Characteristics.....	2-1
2.1.1 Land Use.....	2-1
2.1.2 Customer Categories	2-3
2.2 Historical Water Usage	2-4
2.2.1 Authorized Water Use	2-4
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Acronyms and Abbreviations

AMI	advanced metering infrastructure
AMR	automated meter reading
AWWA	American Water Works Association
BMP	best management practice
C-BT	Colorado-Big Thompson
cfs	cubic feet per second
CIP	capital improvement plan
CIS	Customer Information System
City	City of Louisville
COMI	commercial-inside
COMO	commercial-outside
CRC	Center for ReSource Conservation
CTC	Colorado Technology Center
CWCB	Colorado Water Conservation Board
°F	degrees Fahrenheit
FRICO	Farmers Reservoir and Irrigation Company
gpcd	gallons per capita per day
HOA	homeowners association
IPPs	Identified Projects and Processes
IRRI	irrigation
IWA	International Water Association
LMC	Louisville Municipal Code
MF	multifamily
MG	million gallons
mgd	million gallons per day
M&I	municipal and industrial
PRSV	pre-rinse spray valve
RESI	residential-inside
RESO	residential-outside
SWSI	Statewide Water Supply Initiative
WTP	water treatment plant
WWTP	wastewater treatment plant

1 Profile Existing Water System

1.1 Overview and Purpose

The City of Louisville (City) is a Colorado municipality covering a service area of 8.50 square miles with an estimated population of 18,771 in 2014 (the population estimated from the 2010 US Census was 18,376). The City, incorporated in 1878, lies in Boulder County roughly 6 miles east of Boulder and 25 miles northwest of Denver. On average the City has 15.5 inches of rain and 275 days of sunshine a year. Mean monthly temperatures range from 29.5 degrees Fahrenheit (°F) in January to 72°F in July. At this time, the City owns, either alone or in conjunction with other governmental entities, approximately 1,700 acres of designated open space.

The residential size of the City is not likely to grow significantly, with an estimated population of 22,145 at full occupation. There is the potential for significant commercial and industrial growth at three main business centers: Centennial Valley, the Colorado Technology Center, and the Phillips 66 campus.

The City has two water treatment facilities with capacity to produce up to 12.1 million gallons per day (mgd) of potable water, potable water storage in the distribution system of 8.5 million gallons, 115 miles of finished water distribution system piping, and 6,784 service taps (as of 2013). The City has a treatment plant to reuse wastewater for irrigation; the treatment capacity of the reuse plant is 2 mgd, although the amount available for reuse varies depending on water rights operations.

1.2 Water Supply and Reliability

The City of Louisville obtains the majority of its water supply from South Boulder Creek through direct flow rights, storage rights, and exchanges. The City is also a participant in Northern Water’s Colorado-Big Thompson (C-BT) project and the Windy Gap project. The City also obtains water from Boulder Creek through exchanges and has some storage and direct flow rights on Coal Creek. The City maintains water rights for the municipal water system as well as for agricultural uses. South Boulder Creek rights are transferred ditch rights so there is a lot of supply in the spring. Water supply in the winter is primarily from storage in Harper, Louisville, and Marshall Reservoirs. Summer water supply is augmented with C-BT water to meet peak demand. This augmentation is sometimes required due to algal blooms in the Louisville reservoir that cause water quality issues. A summary of storage water rights is provided in Table 1.

TABLE 1
City of Louisville Raw Water Storage Summary

Storage	Volume (acre-feet)	Notes
Harper Reservoir	715	—
Louisville Reservoir	210	—
Marshall Lake (Louisville Farmers Reservoir and Irrigation Company [FRICO] share, South Boulder and Coal Creek Storage Water, and Foreign Water)	1,020 to 2,540	—
Colorado-Big Thompson Storage	1,447	—
Total raw water storage capacity	3,392 to 4,912	Depending on FRICO share and Marshall

The *2003 Raw Water Master Plan Update* included an analysis of baseline yields of the City's raw water supply system. Determining the water yield is a complex analysis that attempts to account for the details of water rights, including return flow obligations, legal priority of the water right, and conveyance. The master plan estimated the maximum divertible yields from South Boulder Creek range from 2,000 to 4,700 acre-feet each year, and nearly 80 percent of that amount is divertible only during the months of May through July. The Southern Water Supply Project (SWSP) includes C-BT and Windy Gap water. The average available C-BT yield is 1,447¹ acre-feet, with average Windy Gap yield assumed to be zero and a maximum of 900² acre-feet. The master plan included many assumed supply and demand scenarios; the *2003 Raw Water Master Plan* estimated that under future conditions the raw water supply system would provide a firm yield of 5,400 acre-feet. Deficits were predicted during drought years but the demand used in the scenarios was very high at 7,120 acre-feet.

The master plan was completed more than 10 years ago. Therefore, it is recommended the City update the plan to incorporate changes since 2003, including improvements to the raw water infrastructure, improved information on water supply from C-BT and Windy Gap, updated demand data, and resiliency to climate variability.

At this time, no major raw water acquisitions are planned by the City. Overall, there is limited raw water storage in the City's system and additional storage would be beneficial. The total raw water storage capacity of 3,392 to 4,912 acre-feet is lower than the City's forecasted annual water consumption (See Section 2.4 Demand Forecast). The storage system would provide approximately 6 months of water at forecasted baseline demands at the lower end of storage volume. The City is planning on continued efficient water use, but additional water rights acquisition will most likely be required.

1.3 Supply-Side Limitations and Future Needs

As mentioned above, the City has water rights along South Boulder Creek, a tributary to the South Platte River. In the most recent Statewide Water Supply Initiative (SWSI) completed in January 2011, the South Platte Basin is one of the basins facing a municipal and industrial (M&I) gap in 2050. The M&I gap is the difference between the projected municipal and industrial water demand and supplies from existing sources and supplies from Identified Projects and Processes (IPPs). The M&I gap for the South Platte Basin is projected to be 36,000 to 170,000 acre-feet per year, depending on the success rate of IPPs (see Table 5-19 of the January 2011 SWSI). The SWSI also noted that from "a regional perspective, the largest gaps occur in the Northern region, consistent with the high levels of current and future demands and urbanization in Boulder, Larimer, and Weld Counties." There is also little to no unappropriated water remaining in the South Platte Basin. Based on the outlook from SWSI efficient water use will need to continue as a component of the City's raw water master planning.

Limitations and future needs for the City's raw water and treated water systems are summarized in Table 2.

TABLE 2
Summary of Supply Side Limitations and Future Needs

Limitation or Future Need	Comments on Limitation or Future Need	How is Limitation or Future Need Being Addressed
Raw water supply	The estimated firm yield from the City's <i>2003 Raw Water Master Plan</i> was approximately 5,400 acre-feet. Drought years may result in a deficit.	Efficient water use especially during drought years will be required. Monitor growth of commercial properties that are not yet developed.

¹ 2,067 shares at 0.7 acre-feet/share firm yield.

² 9 shares at 100 acre-feet/share.

TABLE 2
Summary of Supply Side Limitations and Future Needs

Limitation or Future Need	Comments on Limitation or Future Need	How is Limitation or Future Need Being Addressed
Raw water storage	The total raw water storage capacity of 1,927 to 3,427 acre-feet is less than the City's current annual water consumption.	Efficient water use to minimize the need for additional raw water storage. Evaluate interconnects and storage projects to increase flexibility of raw water supply system.
Water treatment plant capacity	The City has two water treatment plants with a combined treatment capacity of 13.0 mgd (firm production capacity of approximately 12.1 mgd). There are some limitations on the source water that each plant is able to receive.	Efficient water use to eliminate need for capacity increases at the water treatment plants. Increase flexibility of moving raw water between the two treatment plants.
Wastewater treatment plant (WWTP) capacity to meet future regulations	Current rated WWTP capacity is 3.4 mgd, but future effluent regulations have the potential to impact the plant capacity.	In 2015, the City will start construction of the WWTP upgrades to meet redundancy, ammonia, and nutrient removal regulations. The plant capacity will also be decreased to 2.53 mgd to meet regulations.
Louisville pipeline	The pipeline reliably delivers 5.2 cfs (3.36 mgd) to the Howard Berry WTP and 4.9 cfs to the Louisville Reservoir. May operate at capacity during peak months depending on demand, the amount of water supplied from C-BT, and the amount of divertible water rights.	There are no projects planned to increase capacity of the Louisville pipeline. Blending of raw water sources will be required to meet future demands.
C-BT water pipeline	Pipeline capacity is 4.2 cfs (2.7 mgd). The City has other water supplies, but if more C-BT water was required to meet demand it would be difficult to meet the peak, especially in summer months.	SWSP upsizing is planned to occur within the next 10 years. Blending of raw water sources will be required to meet future demands.
Overall system reliability	Even with multiple water supply options and two treatment plants, the system is still vulnerable to unpredictable events. Interconnects would increase reliability.	The City has potable water interconnects with the City of Lafayette and is currently working on designing an interconnect with the Town of Superior.

Notes:

C-BT = Colorado-Big Thompson

cfs = cubic feet per second

mgd = million gallons per day

2 Water Demand and Historical Demand Management

2.1 Service Area Characteristics

2.1.1 Land Use

Title 17 of the Louisville Municipal Code (LMC) outlines the type of development allowed within the City; the most current plan is summarized in the *Louisville Comprehensive Plan* (May 7, 2013). A map of the City's service area and the 2012 land use map is shown in Figure 1. A summary of land use and built land use is provided in Table 3.

TABLE 3
Land Use Summary

Land Use	Land Percent of Total Land Area	Built Percent of Total Built Area
Agricultural	3.5	0.1
Entertainment	0.2	0.3
Hotel	0.4	1.5
Industrial	5.2	13.5
Large Format Retail	0.5	1.3
Mixed Use Commercial	0.7	1.4
Mobile Home	0.4	0.0
Multi-Tenant Retail	0.6	1.5
Office	3.4	9.1
Open Space/Parks	26.5	0.0
Public Service/Institutional	8.8	1.2
Residential Low Density	26.5	53.9
Residential Medium Density	1.3	3.7
Residential High Density	1.7	6.9
Single Tenant Retail	0.8	1.4
Stand Alone Restaurant	0.3	0.6
Vacant	19.1	3.6

Source: *City of Louisville Comprehensive Plan*, adopted May 7, 2013.

The highest percentages of land use in the City are residential low density and open space/parks, which together make up 53 percent of the total land area in the City. City parks, golf course, and open space total 3,335 acres. The highest percentage of built land use is from residential low density at 53.9 percent, followed by industrial (13.5 percent) and office (9.1 percent). The City estimates that residential land use areas will reach build out in 10 years and the remaining land use areas will take longer to develop.

Vacant or undeveloped land makes up 19.1 percent of the land use area in the City. There are several vacant areas that are eligible for development, although full development of these eligible areas depends on how much the market can actually support. Three large areas that are planned to have future growth for office and industrial uses include the Centennial Valley Business Park, the Colorado Technology Center (CTC), and the Phillips 66 campus. The areas are also designated as special districts by the City's *Comprehensive Plan*. It is important to include the potential impact of these areas on future water demand.

2.1.2 Customer Categories

Water usage is tracked for several customer categories (see Table 4). All customers have water meters and are billed monthly.

TABLE 4
Customer Categories

Category	Code	Description	Metered (Yes/No)	Revenue (Yes/No)
Metered Consumption				
City	CITY	Indoor and outdoor use at City facilities including parks, medians, recreation centers, pools, and golf course. The golf course can be irrigated with raw, reuse, or potable water.	Yes	No (current) ¹ Yes (future)
Residential-Inside	RESI	Single-family home, inside City limits, indoor and outdoor use.	Yes	Yes
Residential-Outside	RESO	Single-family home, outside City limits, indoor and outdoor use	Yes	Yes
Multifamily	MF	Multifamily residence, inside and outside City limits.	Yes	Yes
Commercial-Inside	COMI	Commercial, inside City limits, indoor and outdoor use.	Yes	Yes
Commercial-Outside	COMO	Commercial, outside City limits, indoor and outdoor use.	Yes	Yes
Irrigation	IRRI	Dedicated taps for outdoor water use for commercial and homeowners association (HOA) landscaping. Not all commercial users have dedicated irrigation taps for outdoor use.	Yes	Yes
Bulk Water	—	Water for construction use.	Yes	Yes

¹ The City is phasing in charging itself as a water customer. In 2014, the City is paying 25% of water costs, 50% in 2015, 75% in 2017, and full cost in 2017.

The City customer category is currently not billed and is authorized non-revenue water. However the City is phasing in charging itself as a water customer; in 2014, the City is paying 25% of water costs, 50% in 2015, 75% in 2017, and full cost in 2017. Not all commercial establishments have a separate irrigation tap for outdoor water use; the City code provides guidance on how large an area can be before a separate irrigation tap is required.

Construction water is authorized for use through bulk water usage permits and is tracked separately from the main customer categories in Table 4. Bulk water usage is metered using several bulk water meters in the system. The demand depends on the amount of construction each year. Bulk water usage is accounted for in the demand projections in Section 2.4, Demand Forecast. Other authorized uses that are not currently metered or billed (non-revenue) include distribution system flushing, firefighting, and street washing. A majority of water uses are metered and billed. However, the City does not have accurate estimates for this non-revenue water, but the volume of water for these purposes is usually small compared to the total water demand.

The City also has a reuse water system that currently irrigates City properties. Reuse water is used for irrigating Coal Creek Golf Course, Community Park, Louisville Sports Complex, Miner's Field, and the wastewater treatment plant. Reuse water usage is summarized in Section 2.2.2, Reuse Water.

2.2 Historical Water Usage

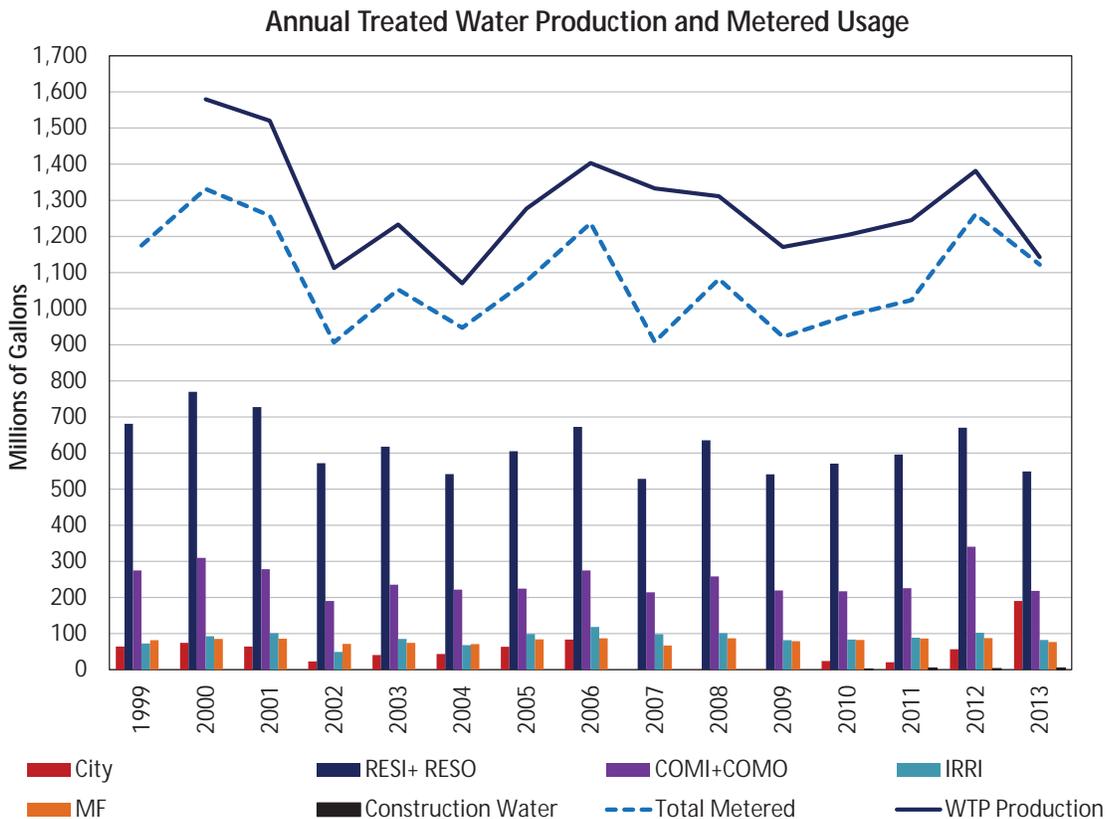
The summary of historical potable water use is summarized into authorized water use and water losses, as discussed in the following subsections.

2.2.1 Authorized Water Use

Authorized uses of water from the City of Louisville include metered water to customers, bulk water permits, and unmetered water for authorized purposes (flushing, firefighting, street washing, etc.). Water used for bulk permits is shown as an authorized use. There are no estimates of unmetered water for authorized purposes, so this water is not accounted for in the authorized use category in this evaluation. In the future, this relatively small number should be quantified so it can be accounted for as authorized unbilled usage. Annual water treatment plant production and authorized water usage for the City's water customers from 1999 to 2013 is summarized in Figure 2.

Demand data prior to 2011 should be interpreted with caution for two main reasons: (1) a portion of the water meters in the system were misclassified in the billing system, and (2) upgrades to the billing system that improved water accounting were complete in 2010.

FIGURE 2
Annual Treated Water Production and Authorized (Metered) Consumption, 1999 to 2013



Water conservation programs and resources have been available from the City for several years. However, in 2002 there was a noticeable decrease in metered water consumption due to a severe drought that year. Since that time, citywide consumption has remained relatively stable, even as the population has increased.

A numerical summary of the last 5 years of authorized water use and water treatment plant production is provided in Table 5. Annual treated water production from 2009 to 2013 ranged from 1,170.81 to 1,381.41 million gallons (MG), or 3,593 to 4,239 acre-feet.

TABLE 5
Summary of Annual Authorized Water Use and Treated Water Production, 2009 to 2013

Year	City ¹	Residential (RESI+RESO)	Multifamily (MF)	Commercial (COMI+COMO)	Irrigation (IRRI)	Authorized ²	Total Authorized	Treated Water Production
2009	0.43	540.89	79.31	219.59	81.77	—	922.00	1170.81
2010	24.06	570.59	82.41	217.23	83.91	1.74	979.93	1203.65
2011	20.86	596.29	86.46	225.92	89.04	4.82	1023.37	1244.70
2012	56.87	670.06	87.61	340.66	102.60	3.30	1261.11	1381.41
2013	190.17	549.00	77.04	218.42	83.47	4.63	1121.52	1142.53

Notes:

¹ The accounting system for City water usage was not considered reliable until 2013.

² Authorized usage represents metered water for bulk water permits.

Units are in millions of gallons.

Analysis of water consumption per customer type shows that residential consumption consistently accounts for almost 50 percent or more of total consumption. Commercial is the second largest consumer, accounting for nearly 25 percent of total production. City, irrigation, and multifamily users make up the remaining 25 percent.

2.2.1.1 Water Losses

The difference in the total treated water production and authorized water use (Figure 3) is considered water loss. Water loss is divided into two categories: (1) real losses (leaks, overflows, unauthorized use, etc.), and (2) apparent losses (accounting and data collection errors). A certain amount of real water loss is inevitable, but utilities can minimize the amount of real water loss with maintenance and leak detection programs. The City of Louisville had apparent losses prior to 2012 when metered water was not being properly accounted for in the billing system. A summary of water loss for the last 5 years is provided in Table 6.

TABLE 6
Water Loss Summary, 2009-2013

Year	Total Authorized (MG)	Treated Water Production (MG)	Water Loss (% of Treated Water Production)
2009	922.00	1170.81	21.3%
2010	979.93	1203.65	18.6%
2011	1023.37	1244.70	18.9%
2012	1261.11	1381.41	8.8%
2013	1122.72	1142.53	1.8%

Note:

MG = million gallons

Prior to 2012, the average annual water loss was 19.8 percent. Water accounting improved in 2012 with the new CIS system and significantly decreased apparent water losses. In 2013, the calculated water loss was very low at 1.8 percent. The City will need to monitor water loss with the new CIS system to establish a baseline level that can be used to measure system improvement or deterioration.

2.2.1.2 Seasonal and Non-seasonal Demands

Indoor water use consists of water used for washing machines, dishwashers, showers, toilet flushing, cooking, and direct consumption. The majority of outdoor water use is assumed to be used for lawn

irrigation. Metered water demands for residential customers includes both indoor and outdoor uses. The irrigation account is water used for irrigation of landscaping at some commercial properties and homeowners associations (HOAs). A summary of season and non-seasonal metered usage is provided in Table 7 from 2013. The portion of water for seasonal and non-seasonal use for each category is used later in the demand forecast (Section 2.4, Demand Forecast).

TABLE 7
2013 Seasonal and Non-seasonal Metered Water Usage

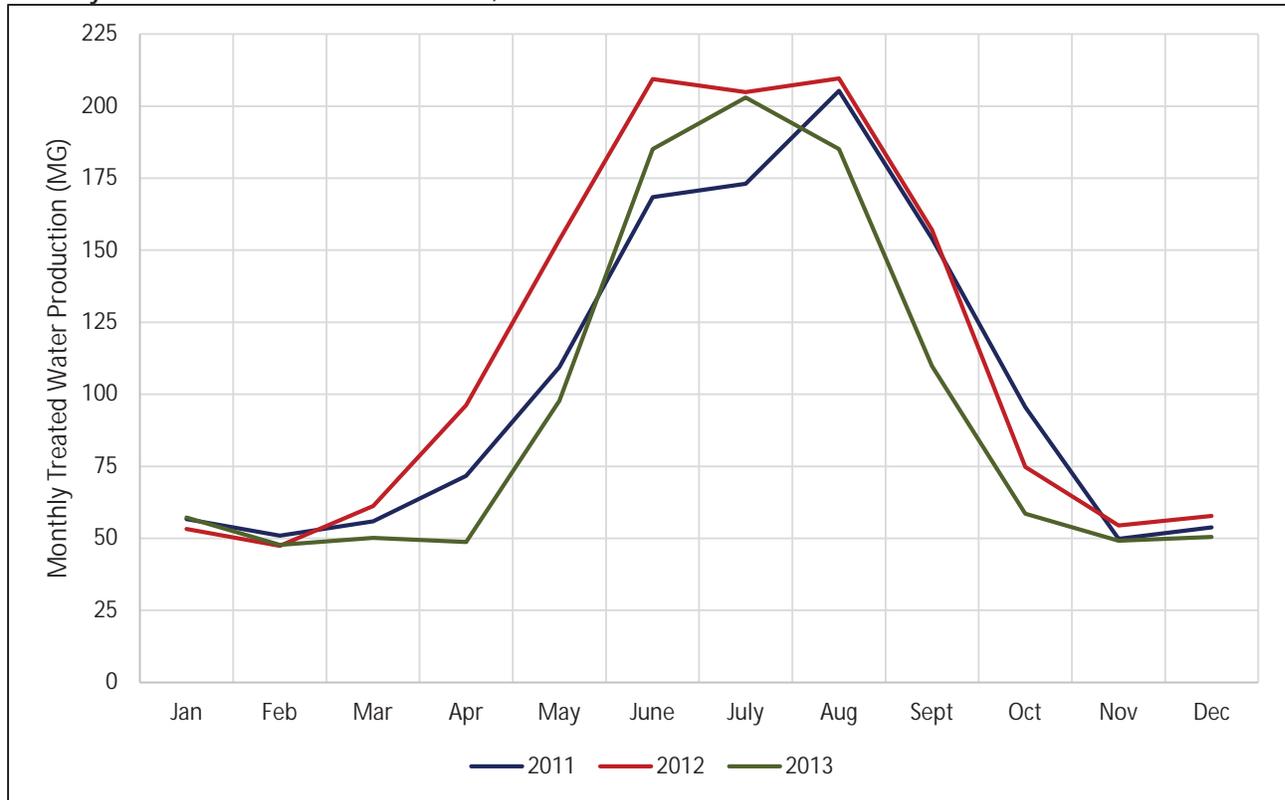
Customer Category	Seasonal (MG)	Non-seasonal (MG)	Seasonal (%)	Non-seasonal (%)
City	135.5	55.6	71%	29%
Commercial (inside City limits)	98.9	119.6	45%	55%
Multifamily	17.0	60.0	22%	78%
Residential (inside City limits)	247.5	299.6	45%	55%
Residential (outside City limits)	1.0	0.95	52%	48%
Irrigation	82.3	0	100%	0%

Note:
MG = million gallons

Monthly water treatment plant (WTP) production also increases from April through October (Figure 3). This is a seasonal pattern which correlates with an increase in consumption due to outdoor water use. Non-seasonal monthly WTP production from November to March is 50 MG per month on average.

Assuming that the non-seasonal production values represent indoor consumption year round, then the increase in WTP production between April and October is for outdoor use, which accounts for approximately 48 percent of total annual water consumption on average.

FIGURE 3
Monthly Water Treatment Plant Production, 2011 to 2013



2.2.1.3 Per Capita Water Usage

Per capita water use is a method of quantifying the volume of water used by a certain population. It can be calculated many ways and used to track efficiency over a large population or more specific customer categories. In this evaluation, the per capita water use is only calculated from 2010 to 2013 because the City's population was adjusted down 6.5 percent in the 2010 U.S. Census; population estimates prior to 2010 were inaccurate, and per capita values for these years would likely be underestimated. Per capita water use from 2010 to 2013 is summarized in Figure 4 and Table 8.

FIGURE 4
Per Capita Water Usage, 2010 to 2012

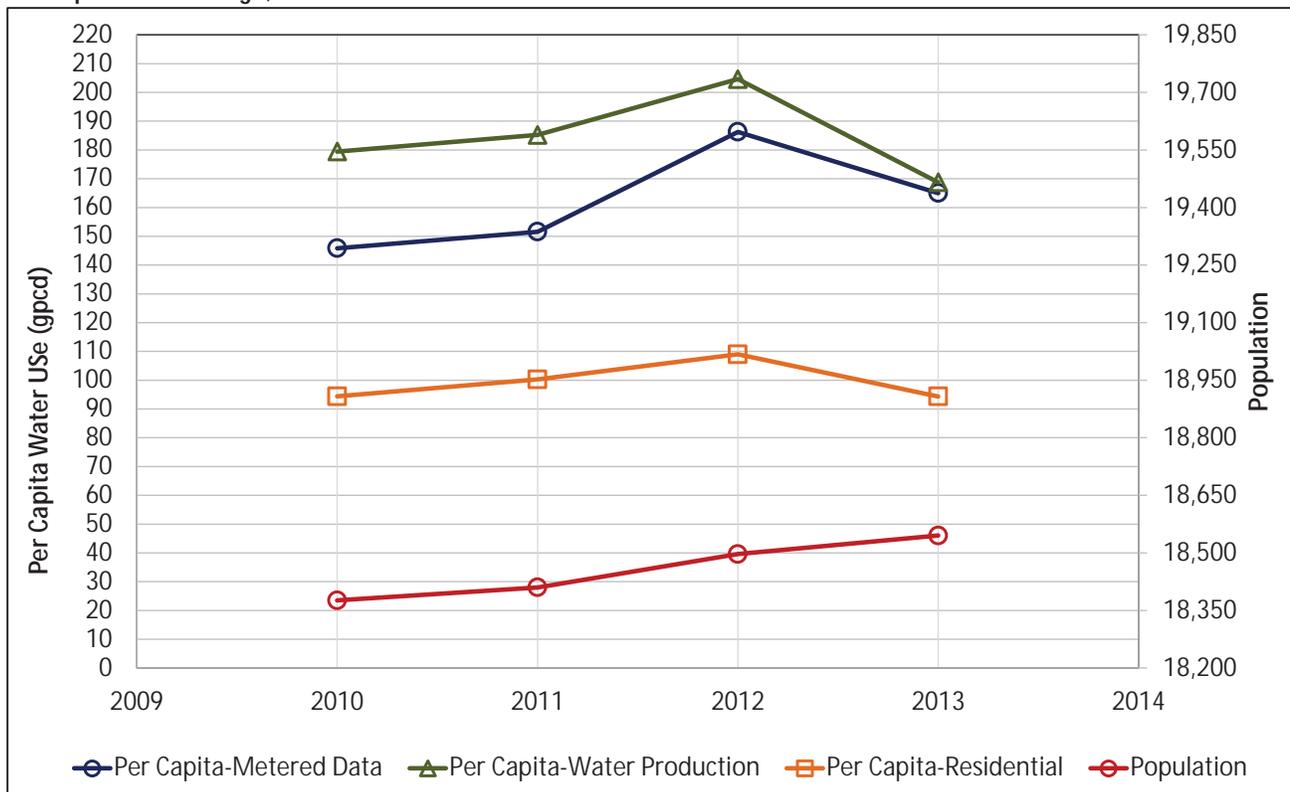


TABLE 8
Per Capita Water Use Summary

Year	Service Area Population ¹	Per Capita – Metered Use (gpcd)	Per Capita – Residential Use (gpcd) ²	Per Capita – Treated Water Production (gpcd)
2010	18,376	146.7	97.4	179.5
2011	18,410	151.6	101.6	185.2
2012	18,497	186.3	112.2	204.6
2013	18,545	165.0	92.3	168.8

Notes:

¹ Population from Water System Facilities Plan (July 2012). The City’s population according to the 2010 U.S. Census was 18,376.
gpcd = gallons per capita per day

Based on metered usage of all the City’ customer categories the per capita water usage of the service area population was an average of 162 gallons per capita per day (gpcd) from 2010-2013. An estimate of per capita usage of the residential population was an average of 101 gpcd from 2010 to 2013. This usage number represents the average amount of water required every day for each person in the RESI, RESO, and MF categories. These per capita values do not account for water use that is not metered as part of the billing system (for example, bulk water), real water loss, or apparent water loss. To capture the total amount of water per capita required at the entrance to the system, the water treatment plant production must be used in the calculation. The average per capita water required from the water treatment plant was 185 gpcd from 2010 to 2013.

2.2.2 Estimated Savings from Past Water Conservation

Efficient use of water has been a consistent message from the City's water utility for several years. Over the years, many factors contribute to decreasing per capita water demand, including City water conservation programs, improved metering, continued learned behavior from drought years, and public education. The estimate of savings from water conservation for the City of Louisville was based on the average per capita treated water production from 1999 to 2001 applied to the current 2013 population, and then comparing this result to the actual value from the 2011-to-2013 average. As stated previously, the 2010 U.S. Census adjusted the population to a lower value. Because an overestimate of population will result in underestimating per capita water use, the population was reverse forecasted from 2010 back to 1999 in order to estimate savings already achieved. Per capita values of treated water production were used instead of metered data because customers were not fully metered in 1999.

Based on a gradual increase of savings over time, the total water saved since 1999 is estimated to be 326 MG (1,001 acre-feet). This estimate was calculated as follows: The average per capita treated water production from 1999 to 2001 was estimated at 209 gpcd. When applied to the 2013 population of 18,584, this is an annual treated water production of 1,418 MG. The actual average from 2011 to 2013 was 1,092 MG. The actual treated water produced was approximately 326 MG (1,001 acre-feet) less than the estimated production based on past per capita values.

2.2.3 Reuse Water

The City's wastewater treatment plant (WWTP) has the capability to treat a portion of the water to be reused for irrigation. The reuse plant has a maximum treatment capacity of 2 mgd, but the actual amount of water available for reuse is limited by influent flow to the WWTP and water rights operations. Current average daily flow rates to the WWTP are 1.8 mgd. Reuse water is primarily used for irrigation at Coal Creek Golf Course, Community Park, Sports Complex, Miner's Field, and the WWTP. The average monthly total reuse water produced and the average production per day is summarized in Table 9 based on available historical data beginning in 1994.

TABLE 9
Summary of Reuse Water Production

Month	Average Daily Reuse Water Usage ¹ (mgd)	Average Total Reuse Water Usage (MG)
January	0.021	0.67
February	0.032	0.98
March	0.055	1.71
April	0.134	4.16
May	0.386	11.96
June	0.589	18.27
July	0.715	22.15
August	0.616	19.10
September	0.421	13.05
October	0.164	5.08
November	0.075	2.33
December	0.020	0.63

Notes:

¹ Usage based on a 10-year average for the Coal Creek Golf Course, a 5-year average for the WWTP and ball fields, and 50 acre-feet of demand for Community Park distributed across the irrigation months.

MG = million gallons

mgd = million gallons per day

Peak demand occurred in July 2013 at 0.715 mgd. Average production from the plant during warmer months from May through September is approximately 0.55 mgd. Total annual production from the plant in 2013 was approximately 100 MG

The City supports maximizing reusable system utilization and the potential exists to increase the supply of reuse water. Several water users have expressed interest in switching to reuse in place of potable water for their irrigation needs. During 2014, the City conducted a study evaluating reuse system expansion. It was found that with the current water rights usage, there is very little spare capacity in the reuse system because the City has a limited amount of reusable water. As a result of that study, Louisville decided to maximize utilization of the system by installing infrastructure that would enable several large users to transition from potable water to reuse supply. This transition is expected to occur within the next five years and is estimated to reduce Louisville's peak demand by 130,000 gpd, and seasonal demand by approximately 12 MG. More reusable water will become available as Windy Gap water starts to get used in the municipal system, which will be done once the Windy Gap Firing Project is completed. Currently, the Windy Gap supply is not utilized because of its unreliability and high cost. Several City parks still use potable water for irrigation, totaling about 66 MG per season. Expanding the reuse system to include additional large water users and City parks could increase the total reuse water used annually to approximately 120 MG. Over a period of 6 months, this would be equivalent to approximately 0.66 mgd.

2.3 Current Demand Management Activities

The City of Louisville is very committed to efficient water use and good environmental stewardship. The activities and programs described in this section were implemented by the City prior to 2014 and water savings have already been achieved from these efforts. A summary of water conservation activities is also provided later in the plan in Table 14, which also has a list of existing activities.

2.3.1 Foundational Activities

2.3.1.1 Water Conservation and Integrated Resources Planning

- The City implements an integrated resources planning approach that fully integrates water conservation into water supply planning processes.
- The City regularly updates their water supply master plan, capital improvement plan, and feasibility studies to ensure a diverse, robust, and resilient water supply.

2.3.1.2 Metering, Water Rates, and Billing Practices

- 100 percent of the City's customers are metered.
- Water use is tracked by various customer categories (residential, multifamily, commercial, irrigation, and city).
- There is monthly volumetric billing for all customers.
- Drive-by advanced metering infrastructure (AMI) with new meters were installed in 2010-2011.
- The City has a goal to replace meters every 10 years.
- Water rates are reviewed annually and adjustments are made to cover utility costs.
- There is an inclining block water rate structure to encourage efficient outdoor water use and other conservation-oriented structures are being considered.
- Commercial water tap fees are charged based on estimated annual demand, which could result in more water-efficient development.
- Separate irrigation meters are required for townhomes and multifamily developments with 5 or more units and are offered for commercial as optional.

2.3.1.3 System Efficiency (Water Loss Control and Pressure Management)

- Leak detection with listening equipment is performed every other year for a portion of the City.
- Water pipeline replacement program is part of the annual operations budget.
- Coal Creek Golf Course is irrigated with raw and reuse water to conserve treated water.
- Louisville Sports Complex and Community Park are irrigated with raw and reuse water to conserve treated water.

2.3.1.4 Monitoring and Evaluation

- Water consumption by large water users are regularly monitored as part of the industrial pretreatment program.
- Billing staff will occasionally flag monthly usage that exhibits an obvious variance from past data or shows a zero reading. The meters are then checked to determine if the reading was due to a broken meter or a leak.
- Water use by customer category is evaluated annually.

2.3.2 Targeted Technical Assistance and Incentives

2.3.2.1 Water Efficient Fixtures-Indoor

- Some City facilities have been upgraded with high efficiency fixtures and appliances, including City Hall (low-flow faucets, low-volume toilets) and the recreation center (low-flow shower heads, ultra-low flush urinals, and a pool cover).

2.3.2.2 Water Efficient Devices-Outdoor

- The vast majority of the City's irrigation systems controls are linked to a master Central Control Irrigation System (CCIS) that can be used to adjust watering times or turn off irrigation when there is a precipitation event.

2.3.2.3 Incentive Programs

- High-efficiency toilet rebate program.
- High-efficiency clothes washer rebate program.
- Drip irrigation system rebate towards cost of equipment.
- Buffalo grass turf rebate.

2.3.2.4 Efficient Water Use/Audits

- Outdoor irrigation efficiency audits offered by Center for ReSource Conservation (CRC) for residential and commercial customers.

2.3.3 Ordinances and Regulations

- Louisville Municipal Code (Title 17) established development Design Standards & Guidelines for commercial, industrial, and mixed use developments that incorporate low-water-use plants and efficient irrigation concepts into the landscape design of each development.
- Water waste ordinance, includes overspray limitations.
- Compliance with Colorado Department of Public Health and Environment's (CDPHE's) Regulation No. 84 limits runoff, ponding, and overspray from areas using reuse water.
- The City's Commercial Development Design Standards and Guidelines include a policy to conserve water by utilizing alternative means for maintaining a suitable landscape environment.
- The City's Open Space Division utilizes soil amendments and low-water plants.

- Louisville Municipal Code established development Design Standards & Guidelines for commercial, industrial, and mixed use developments. Subirrigation of turf areas, minimizing runoff, and use of local and drought-resistant plants are also incorporated in the guidelines.
- New state law phases in sale of only WaterSense³-labeled fixtures by 2016.
- City adopted the International Code Council (ICC) *2012 International Building Code* (2012 IBC) that requires new construction and remodels meet these standards.

2.3.4 Public Information and Education

The City communicates about water use and conservation with their customers using the following tools and methods:

- Regular newsletter distributed.
- Water conservation information available on the City's website.
- A Water Committee made up of City Council members; meeting agendas are posted and the public are welcome at any meeting. The purpose of the Committee is to provide information to the City Council about current City utility activities, projects, and water supply.
- Educational opportunities including school tours of water infrastructure facilities.
- Coordinated messaging with other local cities and Boulder County for consumer message and campaign development, particularly in times of drought.
- Instructional workshops for customers on relevant topics such as irrigation efficiency and management.
- Landscape design and maintenance workshops (through the Center for Resource Conservation [CRC]).

2.4 Demand Forecast

2.4.1 Summary

As part of the water efficiency planning process, three distinct water demand forecasts were prepared. First, a baseline demand forecast starting from 2014 and going out to 2032 was prepared. This baseline forecast did not include the impact of water conservation of any kind, even passive water savings, and was developed only to assess the adequacy of future supplies under reasonable worst-case conditions and to demonstrate the impact of anticipated efficiency improvements. Baseline treated water production in 2014 was estimated to be 1,417.7 MG and under the baseline forecast increased by 558.4 MG resulting in treated water production of 1,943.9 MG in 2032.

A second water demand forecast through 2032 includes the impact of passive efficiencies from Colorado legislation, and federal plumbing codes and standards. This forecast estimated that City water production would increase to 1,777.7 MG in 2032, or 166 MG *less* than they would be under the baseline forecast.

A third forecast was prepared that includes the anticipated impact the City's planned water efficiency program measures described in this plan. Under this forecast, water production increases to 1,707.0 MG in 2032. Compared with the original baseline forecast, if the elements of this plan are fully realized, then it is estimated that water demand at 2032 will be reduced by 236.9 MG (0.65 mgd) as result of passive and active water conservation measures in the City.

These forecasts form the core of the Water Efficiency Plan and are the forecasts on which estimated conservation savings are based.

³ WaterSense is a U.S. Environmental Protection Agency (EPA) partnership program that helps people save water with a product label and tips for saving water around the house. Products carrying the WaterSense label perform well, help save money, and encourage innovation in manufacturing.

2.4.1.1 Climate Variability Impact on Water Supply and Demand

Climate variability has the potential to impact water supply patterns and water demand. Recent climate forecasts indicate the potential for a future warming trend in the region. For example, in 2012 the Water Research Foundation completed a *Joint Front Range Climate Change Vulnerability Study*. All of the scenarios simulated as part of the study showed an increase in annual average temperature ranging from 1 degree to 6 degrees Fahrenheit for 2040. However, the annual percent change in precipitation ranged from -15 percent to +17 percent for 2040. While it is becoming more common to consider the impacts of climate variability on water supply planning the potential impact on water demands are less understood because of the variability of temperature and precipitation forecasts. Because recent water demands were used as the basis for forecasting future water demands, the demand forecasts in this plan already reflect some impact on water demand based on current climate conditions. A sensible approach to water demand forecasting is to regularly update demand projections based on actual current conditions.

The purpose and goal of this document was to prepare a water conservation plan to improve water efficiency under current supply and demand conditions. In order to plan for potential climate variability it is recommended the City complete an analysis of water supply and demand under climate change conditions to determine the adequacy of the City's water supply under a variety of future climate scenarios; such an effort was outside of the scope of work for this water conservation planning effort.

2.4.2 Forecast Development

As part of the preparation of the Water Efficiency Plan, three separate demand forecasts were prepared:

- Baseline forecast (without conservation)
- Passive savings forecast
- Passive and active savings forecast

The baseline forecasting method used historic demand patterns to establish the baseline per capita demand and then increase these demands with population out to 2032 as if the 2014 per capita water-use patterns continue without change to 2032. This is a standard approach to demand forecasting, but it does not take into account the expected impacts of water efficiency.

The second and third forecasts were developed using a more robust approach in which demands were separated out by water-use sector or customer category (for example, residential, commercial, irrigation, etc.), with seasonal and non-seasonal demands (outdoor and indoor) disaggregated for each category. Then a separate demand forecast out to 2032 was prepared for indoor and outdoor demand in each customer category. This allowed the impacts of specific water efficiency measures like high-efficiency toilets and clothes washers to be considered.

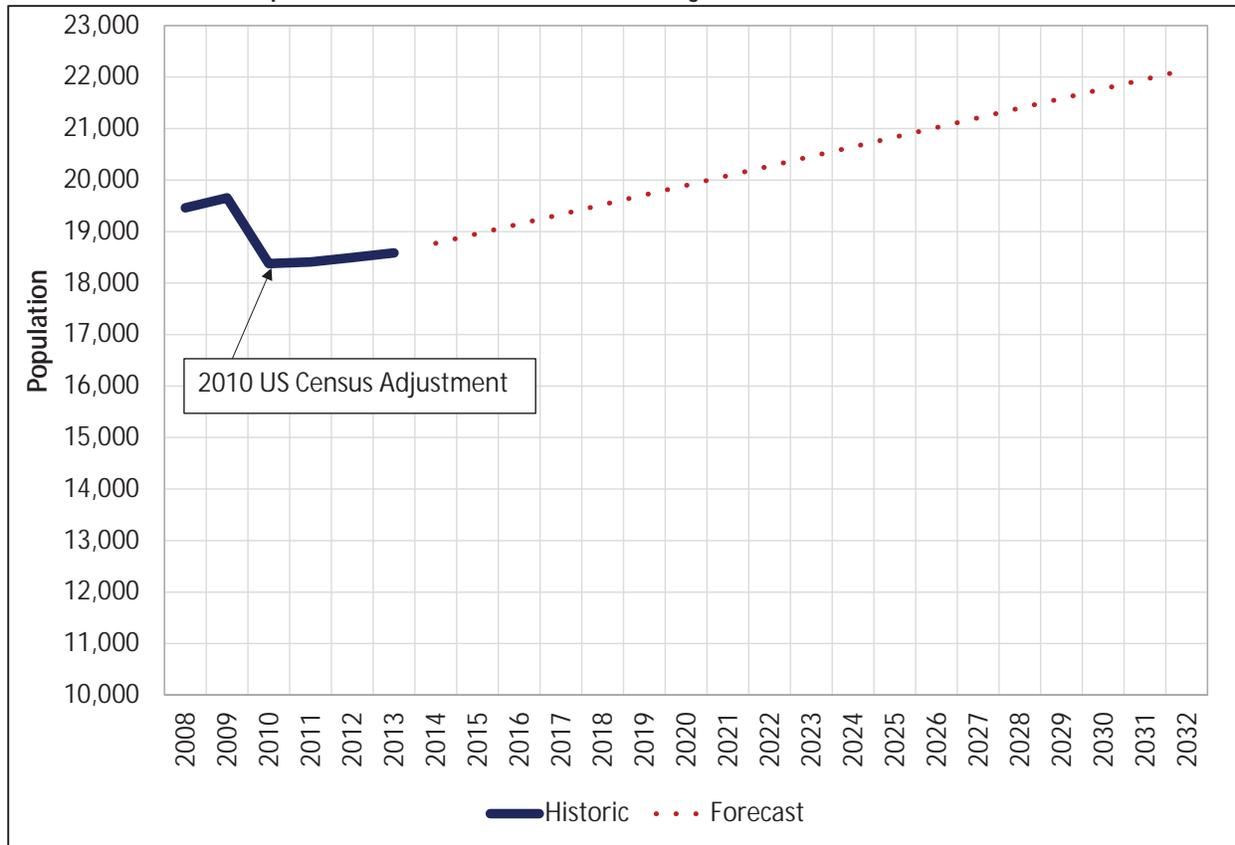
2.4.2.1 Population Planning Projections

The population served with potable water by the City of Louisville in 2013 was approximately 18,584. Staff have indicated that the City plans to achieve a build out population of 22,145 by 2032. This suggests an average annual growth rate of between 0.75 to 1.0 percent per year. Table 10 shows the population forecast for Louisville from 2015 to 2032. The year 2032 was chosen as a demand forecasting horizon. These data are shown graphically in Figure 5.

TABLE 10
Population Growth Projections from 2008 through 2032

Year	Estimated Population	% Change from Previous Year	Data Source
2008	19,461	—	Water Facilities Master Plan (July 2012)
2009	19,656	1.00	Water Facilities Master Plan (July 2012)
2010	18,376	-6.51	2010 U.S. Census
2011	18,410	0.19	Water Facilities Master Plan (July 2012)
2012	18,497	0.47	Water Facilities Master Plan (July 2012)
2013	18,584	0.47	Water Facilities Master Plan (July 2012)
2014	18,771	1.01	Water Facilities Master Plan (July 2012)
2015	18,959	1.00	Water Facilities Master Plan (July 2012)
2016	19,146	0.99	Water Facilities Master Plan (July 2012)
2017	19,334	0.98	Water Facilities Master Plan (July 2012)
2018	19,521	0.97	Water Facilities Master Plan (July 2012)
2019	19,709	0.96	Water Facilities Master Plan (July 2012)
2020	19,896	0.95	Water Facilities Master Plan (July 2012)
2021	20,083	0.94	Water Facilities Master Plan (July 2012)
2022	20,271	0.93	Water Facilities Master Plan (July 2012)
2023	20,458	0.92	Water Facilities Master Plan (July 2012)
2024	20,646	0.92	Water Facilities Master Plan (July 2012)
2025	20,833	0.91	Water Facilities Master Plan (July 2012)
2026	21,020	0.90	Extrapolation
2027	21,208	0.89	Extrapolation
2028	21,395	0.88	Extrapolation
2029	21,583	0.88	Extrapolation
2030	21,770	0.87	Extrapolation
2031	21,958	0.86	Extrapolation
2032	22,145	0.85	Build-out population of 22,145 in 2032 from Joliette Woodson email 11/20/2013

FIGURE 5
Historic and Forecast Population of Louisville from 2008 through 2032



An analysis of recent water use data was performed to establish a starting point for the water demand forecasts. The minimum, maximum, and average water use for each customer category was calculated for each year from 2009 to 2013. These values were compared to the 2013 value. Engineering judgment was used to select the starting point for each customer category, guided by the intent to start the forecast at a value that was representative of recent demand but not too low or too high. A summary of the metered data for the last 5 years is shown in Table 11 (which was also provided Table 5), as well as a summary of the minimum, maximum, average, and baseline starting values.

TABLE 11
Summary of Annual Authorized Water Use and Treated Water Production, 2009 to 2013

Year	Population	City ¹	Residential (RESI+RESO)	Multifamily (MF)	Commercial (COMI+COMO)	Irrigation (IRRI)	Total Metered ²
2009	—	0.43	540.89	79.31	219.59	81.77	922.00
2010	18,376	24.06	570.59	82.41	217.23	83.91	984.20
2011	18,410	20.86	596.29	86.46	225.92	89.04	1,018.55
2012	18,497	56.87	670.06	87.61	340.66	102.60	1,257.81
2013	18,584	190.17	549.00	77.04	218.42	83.47	1,116.90
5-year min.	—	0.43	540.89	77.04	217.23	81.77	922.00
5-year max.	—	190.17	670.06	87.61	340.66	102.60	1,257.81

TABLE 11
Summary of Annual Authorized Water Use and Treated Water Production, 2009 to 2013

Year	Population	City ¹	Residential (RESI+RESO)	Multifamily (MF)	Commercial (COMI+COMO)	Irrigation (IRRI)	Total Metered ²
5-year avg.	—	58.48	585.37	82.57	244.36	89.12	1,059.89
Baseline Starting Point	18,584	190.17	585.37	82.57	244.36	89.12	1,191.69

Notes:

¹ Starting point for City’s baseline forecast is 2013 because the accounting system for City water usage was not considered reliable until 2013.

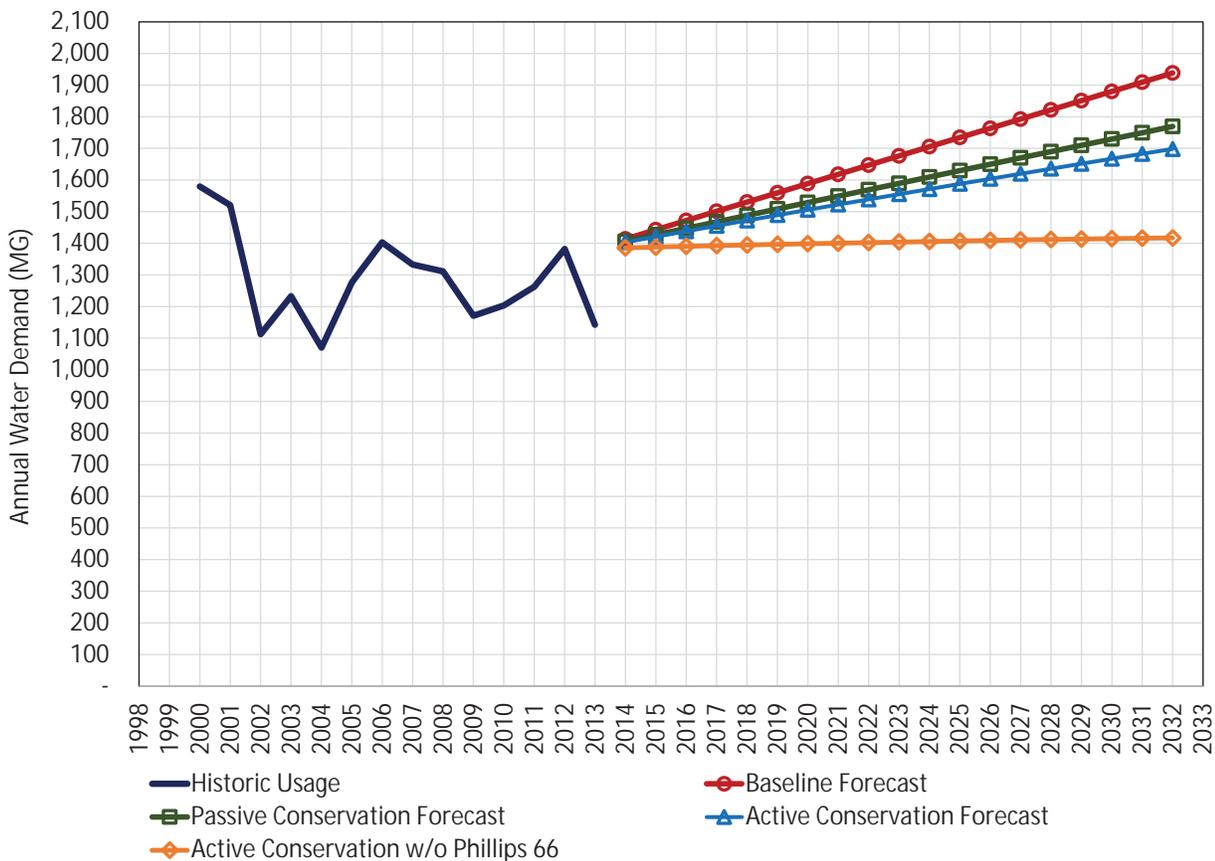
² Starting point for total metered water usage is the summation of the starting points of the individual categories.

Units are in millions of gallons.

The total metered water demand for the starting point of forecasting is 1,191.69 MG divided by the 2013 population of 18,584, resulting in a per capita metered usage of 176 gpcd. For the baseline forecast, this per capita value was applied to the forecasted population for each year out to 2032 to calculate the forecasted metered water demand for the baseline forecast.

The three forecasts (baseline, passive, passive and active) form the core of the Water Efficiency Plan and are the forecasts upon which estimated conservation savings are based. Each forecast shows demand starting in 2014 and going through the planning horizon of 2032 (18 years). The results are provided in Figure 6 and further described in more detail in the following sections.

FIGURE 6
Baseline, Passive, and Active Demand Forecasts through 2032



2.4.3 Baseline Forecast

Baseline demands were developed based on a combination of anticipated demographic and land use changes in the City of Louisville. In the baseline forecast all demands (indoor and outdoor) increase proportionally with the population at the current rate of usage. For the residential portion of the water demand, this assumes that new customers joining the system will use water identically to the current customer base. A major assumption for this baseline forecast is for the commercial users where it is assumed that water use at the Phillips 66 property will increase linearly from 0 MG in 2015 to 250 MG in 2032, when the site reaches full occupancy and usage potential.

The fundamental purpose of the baseline forecast is to assess the adequacy of future supplies under reasonable “worst case” conditions (that is, no water efficiency gains) and to demonstrate the anticipated impact of water efficiency in the City from both passive and active conservation programs.

Key assumptions in the baseline forecast are as follows:

- Baseline water use patterns and forecast starting point (Table 11)
- Population forecast (Table 10)
- Water use in all sectors both seasonal and non-seasonal increases proportionally with the population
- Annual bulk water usage of 4.8 MG that does not increase or decrease each year
- Outdoor water use impacts from temperature and precipitation in 2032 are similar to 2014

Baseline treated water production in 2014 was estimated to be 1,413.7 MG and increases by 525 MG, resulting in a total baseline demand of 1,938.4 MG (5,949.72 acre-feet) in 2032.

2.4.4 Passive Conservation Forecast

The passive conservation water demand forecast to 2032 includes the impact of anticipated passive efficiencies from State of Colorado legislation, and federal plumbing codes and standards on a sector-by-sector basis for both indoor and outdoor use. An example of a passive water conservation effort that is accounted for in this forecast would be the passing of Colorado Senate Bill 2014-103, which phases out the sale of low-efficiency lavatory faucets, showerheads, flushing urinals, and tank-type toilets.

Key assumptions in the passive conservation forecast are as follows:

- Baseline water use patterns and forecast starting point (Table 11)
- Population forecast (Table 10)
- Outdoor water use in all use categories increases proportionally with the population
- Outdoor water use impacts from temperature and precipitation in 2032 are similar to 2014
- 1 percent per year decrease in residential indoor (inside and outside City limits) per capita water use (from 47.1 gpcd in 2014 to 39.3 gpcd in 2032), which represents a continuing pattern of the past 15 years
- 1 percent per year decrease in multifamily residential indoor per capita water use, which represents a continuing pattern of the past 15 years
- 0.5 percent per year decrease in per capita commercial indoor (inside City limit) use from ongoing replacement of fixtures, appliances, and equipment and new State of Colorado legislation (Senate Bill 14-103) assuring high-efficiency plumbing in new construction
- 1 percent per year increase in per capita commercial indoor (outside City limit) water use to account for additional growth potential in the sector
- Annual construction water demand of 4.8 MG that does not increase or decrease each year

- Steady increase in water use at the Phillips 66 property from 0 gallons in 2014 to 250 MG at build-out in 2032
- Volume of water loss is held constant at 189 MG, which represents the average water loss from the last 5 years, thus reducing water loss from 15.8 percent in 2014 to 11.9 percent in 2032

The passive forecast estimates that City water demands will increase to 1,769.4 MG (5,430.00 acre-feet) in 2032 which is 169 MG less than the baseline forecast. The passive conservation forecast estimates a 28.3-percent increase in treated water demand over the next 18 years and suggests that more efficient fixtures and appliances could help reduce future demands in the City by 169 MG annually compared with the baseline forecast.

2.4.5 Active Conservation Forecast

The active conservation forecast includes the anticipated impact from the City's planned water efficiency program measures described in this plan (see Section 4, Selection of Water Efficiency Activities).

Key assumptions in the active conservation forecast are as follows:

- Baseline water use patterns and forecast starting point (Table 11)
- Population forecast (Table 10)
- Outdoor water use in all sectors increases proportionally with the population
- Outdoor water use impacts from temperature and precipitation in 2032 are similar to 2014
- 1 percent per year decrease in residential indoor (inside and outside City limits) per capita water use (from 47.1 gpcd in 2014 to 39.3 gpcd in 2032), which represents a continuing pattern of the past 15 years
- 0.5 percent per year decrease in residential outdoor water use (inside and outside City limits) due to the City's water conservation efforts and rate structure
- 1 percent per year decrease in multifamily residential indoor per capita water use, which represents a continuing pattern of the past 15 years
- 0.5 percent per year decrease in multifamily residential outdoor water use due to the City's water conservation efforts and rate structure
- 0.6 percent per year decrease in per capita commercial indoor (inside City limit) use from ongoing replacement of fixtures, appliances, and equipment and new State of Colorado legislation (Senate Bill 14-103) assuring high-efficiency plumbing in new construction
- 0.5 percent per year decrease in commercial outdoor water use (inside City limit) due to the City's water conservation efforts and rate structure
- 1 percent per year increase in commercial water use outside City limit to account for additional growth potential in the sector
- 0.25-percent decrease per year in city/municipal indoor water use from ongoing replacement of fixtures, appliances, and equipment and new Colorado legislation (Senate Bill 14-103)
- Annual construction water demand of 4.8 MG that does not increase or decrease each year
- Steady increase in water use at the Phillips 66 property from 0 gallons in 2014 to 250 MG at build-out in 2032
- Volume of water loss is held constant at 189 MG, which represents the average water loss from the last 5 years, thus reducing water loss from 15.8 percent in 2014 to 11.9 percent in 2032

Treated water demand for the active conservation forecast increases to 1,698.1 MG (5,211.2 acre-feet) in 2032. This is 241 MG less than the original baseline forecast and 71 MG less than the passive conservation forecast. If the elements of this plan are fully realized, then it is estimated that water demand at 2032 will be reduced by 241 MG (0.66 mgd) as result of passive and active water conservation measures.

If the assumption for water use at the Phillips 66 property is not included in the active forecast the active conservation forecast is 1,417.3 MG (4,349.6 acre-feet) in 2032.

2.4.6 Adequacy of Water Supply and Infrastructure

From the summary in Section 1.2, Water Supply Reliability, the *2003 Raw Water Master Plan* estimated that under future conditions the raw water supply system would provide a firm yield of 5,400 acre-feet. The master plan included many assumptions for supply and demand scenarios and should be updated to reflect more recent water supply and demand data. However, the estimate of firm yield illustrates the importance of water conservation for the City. A summary of the treated water demand forecasts and other infrastructure capacities is provided in Table 12.

TABLE 12

Annual Treated Water Demand Forecast Summary and Raw Water Supply

Forecast Scenario	Demand (MG)	Average Daily Demand (mgd)	Demand (acre-feet)	Notes
Baseline	1,938.4	5.3	5,949.7	—
Passive Conservation	1,769.4	4.9	5,430.0	—
Active Conservation	1,698.1	4.7	5,211.2	—
Active Conservation w/o Phillips 66 Demand	1,417.3	3.9	4,349.6	—
Raw Water Supply Firm Yield	—	—	5,400	Estimated from <i>2003 Raw Water Master Plan</i>

Notes:

MG = million gallons

mgd = million gallons per day

In this evaluation, the total demand for treated water ranges from 4,350 to 5,950 acre-feet depending on the level of water conservation and development. The estimated raw water supply firm yield is 5,400 acre-feet from the *2003 Raw Water Master Plan*. The firm yield value will be verified as part of the 2014 Raw Water Master Plan Update project to reflect more recent conditions. However, water conservation will be important for the City in the future to decrease the likelihood of having to find additional raw water sources.

The *2012 Water System Facilities Plan* also forecasted treated water demand for the City. The time frame to build-out and total population were similar to this evaluation. Treated water demands forecasted from the *2012 Water System Facilities Plan* range from 4.4 mgd to 5.1 mgd depending on the method of calculation. These endpoints are similar, but an exact comparison may not be possible. The forecast from this evaluation (Table 12) explicitly includes additional demand for the Phillips 66 property and accounts for water loss. It is not clear if these were accounted for in the *2012 Water System Facilities Plan* forecast. Based on calculations from the projections, it seems the per capita metered usage from the *2012 Water System Facilities Plan* ranged from 198 to 225 gpcd, which is slightly higher than the baseline forecast value of 176 gpcd.

The firm water treatment plant production capacity is 12.1 mgd. The estimated volume of total treated water demand, when distributed over an entire year, represents the average demand. However, peak demands have to be met by the water treatment facilities and peak-day demands are usually used to size water treatment facilities. The City's *2012 Water System Facilities Plan* evaluated peak-day factors: The

average from 2003 to 2010 was 2.59 and the 75th percentile value was 2.68. To be slightly conservative, the 75th percentile factor was used for this evaluation. A summary of hypothetical peak-day demands for each forecast is summarized in Table 13 and shown graphically in Figure 7. Table 13 includes two peak-day scenarios: one where the peaking factor is applied to the average demand, and a second where the peaking factor is only applied to the metered demand and not to the portion of demand from construction water and estimated water loss.

The baseline forecast estimates a peak-day demand of 14.2 mgd which is greater than the treatment plant production capacity. The water treatment plant production capacity of 12.1 mgd is close to meeting the peak-day demand for the active conservation forecast of 12.6 mgd and meets the demand for the active conservation forecast without the Phillips 66 demand. Depending on development, the peak demands at build out will be close to the treatment plant capacity, but could be managed with water efficient measures targeted at decreasing peak demand.

TABLE 13
Estimated Peak-Day Demand and Water Treatment Plant Capacity

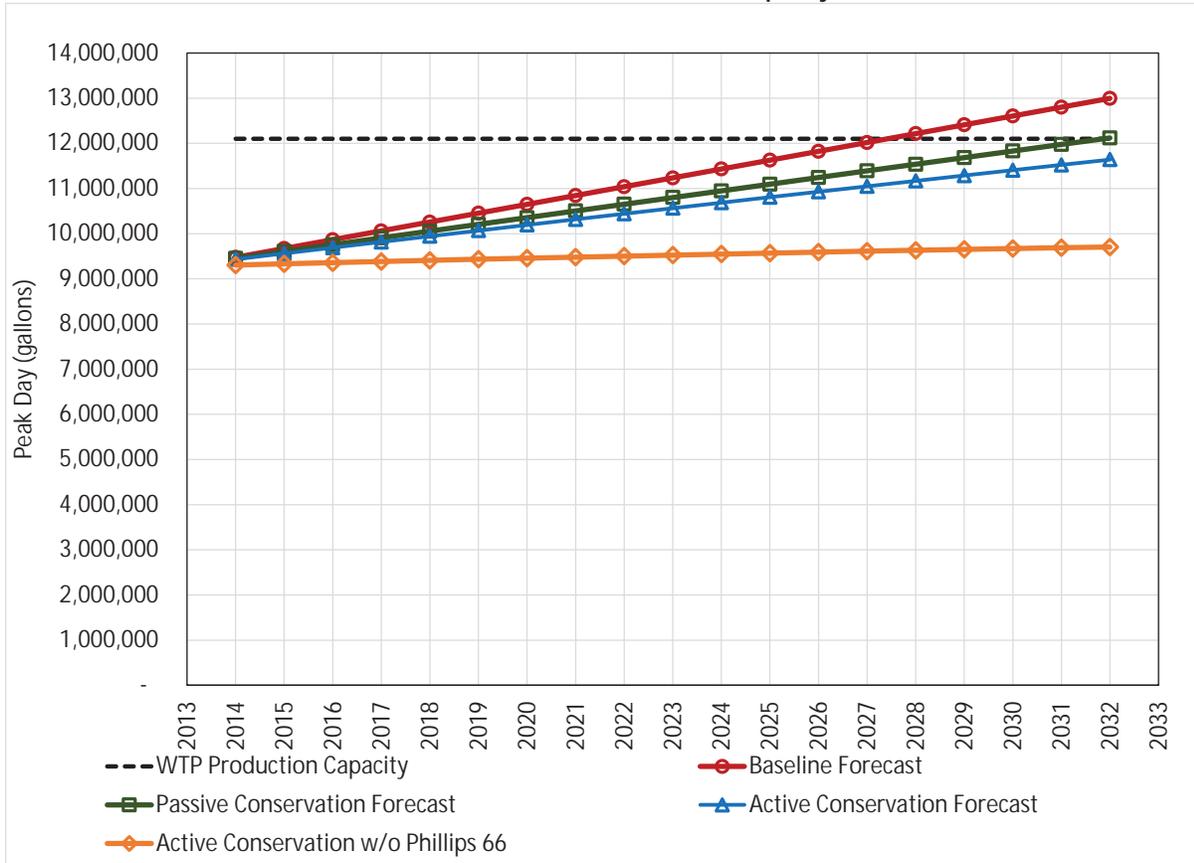
Forecast Scenario	Average Daily Demand (mgd)	Peaking Factor (PF)	Estimated Peak-Day Demand (mgd)	Estimated Peak-Day Demand w/ Selective PF ¹ (mgd)	Notes
Baseline	5.3	2.68	14.2	13.0	75th percentile peaking actor from 2012 Water System Facilities Plan
Passive Conservation	4.9	2.68	13.1	12.1	75th percentile peaking actor from 2012 Water System Facilities Plan
Active Conservation	4.7	2.68	12.6	11.6	75th percentile peaking actor from 2012 Water System Facilities Plan
Active Conservation w/o Phillips 66 Demand	3.9	2.68	10.5	9.7	75th percentile peaking actor from 2012 Water System Facilities Plan
Water Treatment Plant Production Capacity	—	—	12.1	12.1	WTP treatment capacity is 13.0 mgd which is approximately 12.1 mgd of water produced at the effluent.

Note:

¹ Peaking factor (PF) selectively applied to metered demand only and not to the portion of demand from construction water and estimated water loss.

mgd = million gallons per day

FIGURE 7
Treated Water Demand Peak Forecast and Water Treatment Plant Capacity



3 Integrated Planning and Water Efficiency Benefits and Goals

3.1 Water Efficiency and Water Supply Planning

Integrated resources planning is implemented by the City in its planning process; new water supplies as well as water conservation are considered when planning to meet future demand. Over the years the City has expanded its water supply portfolio beyond South Boulder Creek to include C-BT and Windy Gap water. The City's most recent water master plan, the *2012 Water System Facilities Plan*, incorporated water conservation into the demand forecasting methodology. Efficient water use by the City and its customers will be important to increasing the reliability of the supply when the City is built out. The summary table (Table 2) from Section 1.2, Water Supply and Reliability is repeated here.

TABLE 2 (REPEAT)
Supply Side Limitations and Future Needs Summary

Limitation or Future Need	Comments on Limitation or Future Need	How is Limitation or Future Need Being Addressed
Raw water supply	The estimated firm yield from the City's <i>2003 Raw Water Master Plan</i> was approximately 5,400 acre-feet. Drought years may result in a deficit.	Efficient water use especially during drought years will be required. Monitor growth of commercial properties that are not yet developed.
Raw water storage	The total raw water storage capacity of 1,927 to 3,427 acre-feet is less than the City's current annual water consumption.	Efficient water use to minimize the need for additional raw water storage. Evaluate interconnects and storage projects to increase flexibility of raw water supply system.
Water treatment plant capacity	The City has two water treatment plants with a combined treatment capacity of 13.0 mgd (firm production capacity of approximately 12.1 mgd). There are some limitations on the source water that each plant is able to receive.	Efficient water use to eliminate need for capacity increases at the water treatment plants. Increase flexibility of moving raw water between the two treatment plants.
Wastewater treatment plant (WWTP) capacity to meet future regulations	Current rated WWTP capacity is 3.4 mgd, but future effluent regulations have the potential to impact the plant capacity.	In 2015, the City will start construction of the WWTP upgrades to meet redundancy, ammonia, and nutrient removal regulations. The plant capacity will also be decreased to 2.53 mgd to meet regulations.
Louisville pipeline	The pipeline reliably delivers 5.2 cfs (3.36 mgd) to the Howard Berry WTP and 4.9 cfs to the Louisville Reservoir. May operate at capacity during peak months depending on demand, the amount of water supplied from C-BT, and the amount of divertible water rights.	There are no projects planned to increase capacity of the Louisville pipeline. Blending of raw water sources will be required to meet future demands.
C-BT water pipeline	Pipeline capacity is 4.2 cfs (2.7 mgd). The City has other water supplies, but if more C-BT water was required to meet demand it would be difficult to meet the peak, especially in summer months.	SWSP upsizing is planned to occur within the next 10 years. Blending of raw water sources will be required to meet future demands.

TABLE 2 (REPEAT)
Supply Side Limitations and Future Needs Summary

Limitation or Future Need	Comments on Limitation or Future Need	How is Limitation or Future Need Being Addressed
Overall system reliability	Even with multiple water supply options and two treatment plants, the system is still vulnerable to unpredictable events. Interconnects would increase reliability.	The City has potable water interconnects with the City of Lafayette and is currently working on designing an interconnect with the Town of Superior.

Notes:
 C-BT = Colorado-Big Thompson
 cfs = cubic feet per second
 mgd = million gallons per day

Efficient water use will need to be a consistent practice and message from the City in order to address future water supply needs. Maintaining the integration of efficient water use into raw water resource planning will be critical. Efficient water use to reduce peak-day demands may defer or eliminate the need for a new water treatment facility or a significant upgrade to the existing plants. Efficient water use also results in decreased flow to the wastewater treatment plant; while this helps limit costly expansion to the facility, it also lowers the amount of water available for reuse. The City’s operation and maintenance plan and capital improvement plan (CIP) are updated annually and will need to be integrated with results from water supply planning so the appropriate infrastructure is in place to achieve the goals.

3.2 Water Efficiency Goals

The end goals of the water efficiency plan were established with staff from the City’s Public Works Department, including the director, engineers, and operators. Goals were established based on the knowledge of the system limitations, areas needing improvement, and underutilized resources. A summary of the City’s water efficiency goals is provided in Table 14.

TABLE 14
Summary of Water Efficiency Goals

Goal	Approach	Measurement
Total annual water savings of 10 percent below baseline forecast at build out (600 acre-feet).	Water efficiency activities identified in this plan.	<ul style="list-style-type: none"> • Annual water treatment plant production • Per capita treated water production.
Account for all Water	Meter water that is currently authorized and unmetered for City use. Conduct AWWA Manual M36 water audit.	<ul style="list-style-type: none"> • Monthly water use be category with separate category for bulk water • Per capita metered • Per capita residential • Complete AWWA Manual M36 audit
Decreased peak-day demand at build-out to less than 13 mgd.	Water efficiency activities identified in this plan targeted to outdoor water use; increase reuse water distribution.	Daily water treatment plant production.

4 Selection of Water Efficiency Activities

4.1 Summary of Selection Process

The process of selecting water efficiency activities took place during several meetings with the City's Public Works staff. The conservation measures included in this plan were selected using the following process:

- City staff and the consulting team assembled a list of all water demand management measures implemented by the City in recent years.
- Consulting team consolidated and organized the list of activities and selected a number of additional measures for consideration. Only measures that were cost-effective best practices and that could be implemented effectively using existing staff resources were included.
- City staff and the consulting team met and reviewed all existing and potential measures and selected measures to carry through for inclusion in the plan.
- Consulting team prepared an internal Draft Water Efficiency Plan in July 2014.
- City staff reviewed the draft and modified conservation planning measures.
- The consulting team prepared a Draft Final Water Efficiency Plan in August 2014 for public review.
- Public comments collected during a 60-day review period from September 10, 2014 to November 10, 2014.
- A final draft was prepared in November 2014 for review by CWCB. There were no comments and the plan was approved by CWCB on January 6, 2015.

Many of the water efficiency activities that have already been implemented by the City will continue. Because of the established water efficiency goals (Table 13), many of the new water efficiency activities considered targeted efficient outdoor water use to decrease the peak demand.

The City of Louisville has a strong commitment to water conservation, but does not have a full-time water conservation coordinator. A key decision factor when considering water conservation programs for implementation were measures that can be effectively implemented using existing staff resources. The water conservation measures included in this plan have been selected to ensure effective ongoing water demand management in the City in the coming years and continuity with previous water conservation efforts.

The identification and screening of water efficiency activities is summarized in Table 15.

TABLE 15
City of Louisville
Identification and Screening of Water Efficiency Activities

Water Efficiency Activities	Existing Activity	Continue Activity	Implement New Activity	Other Notes
Foundational Activities				
<i>Staff</i>				
Water Conservation Coordinator	No		Yes	City will designate an existing staff member as the water conservation coordinator.
<i>Planning</i>				
Integrated Water Resources Plans	Yes	Yes		
Master Plans/Water Supply Plans	Yes	Yes		Update the 2003 Raw Water Master Plan
Capital Improvement Plans	Yes	Yes		Updated annually.
Feasibility Studies	Yes	Yes		
<i>Metering, Water Rates, Billing</i>				
Automatic Meter Reading Installation and Operations	Yes			Drive by AMR
Meter Replacement	Yes	Yes		
Meter Upgrades	Yes	No		Meters were updated in 2010-2011; do not need to be upgraded again in the time frame of this plan.
Volumetric Billing	Yes	Yes		
Monthly Meter Reading and Billing	Yes	Yes		
Track Water Use by Customer Categories	Yes	Yes	Yes	Add categories for bulk water and authorized use.
Inclining Block Rates	Yes	Yes	Yes	City plans to evaluate the rate structure to see if more efficiency can be encouraged for outdoor irrigation.
Separate Irrigation Meters-Commercial	Yes	Yes	Yes	This is currently optional; not all commercial users have a separate meter. Consider mandatory for large customers.
Separate Irrigation Meters-HOAs	Yes	Yes		
Separate Irrigation Meters-Multifamily with 5+ Units	Yes	Yes		
Water Budgets	No		No	A Water Rate Study was performed in 2013; feedback from the public did not support water budgets at this time.
Informational Water Budgets	No		Yes	
Tap Fees with Water Use Efficiency Incentives	Yes	Yes		
<i>System Efficiency</i>				
Leak Detection Repair Program	Yes	Yes		Performed every other year.
Water Line Replacement Program	Yes	Yes		Ongoing annual maintenance program.
System Wide Water Audit	No		Yes	Perform water audit in accordance with AWWA M36 method
Phreatophyte Eradication	Yes	Yes		
Reuse Water System	Yes	Yes		Increase distribution of reuse water.
<i>Monitoring and Evaluation</i>				
Monitor Water Use of Large Customers	Yes	Yes		Large water users are monitored as part of the Industrial Pretreatment Program.
Monitor Irregular Water Use	Yes	Yes		Billing software alerts if there is a deviation in water use.
Annual Water Use Tracking by Customer Category	Yes	Yes		
Update Conservation Plan	No		Yes	Every 5 to 7 years to meet CWCB requirements.
Report Water Use to CWCB	No		Yes	Annually
Targeted Technical Assistance				
<i>Water Efficient Fixtures-Indoor</i>				
Low Flow Faucets	Yes	Yes		Installed at City Hall, expand to other facilities in the future.
Low Volume Toilets	Yes	Yes		Installed at City Hall, expand to other facilities in the future.
Low Flow Shower Heads	Yes	No		Installed at Recreation Center. No need to continue except for replacement.
Ultra-Low Flush Urinals	Yes	Yes		Installed at City Hall, expand to other facilities in the future.
High Efficiency Pre-Rinse Spray Nozzles	No		Yes	
<i>Water Efficient Devices-Outdoor</i>				
Weather-Based Irrigation Controller - City Facilities	Yes	Yes		

TABLE 15
 City of Louisville
 Identification and Screening of Water Efficiency Activities

<i>Incentives</i>				
Weather-Based Irrigation Controller	No		Yes	
Soil Sensors	No	No		Technology still being developed.
HE Clothes Washer Rebate	Yes	No		Potential to phase this out based on new State requirements for water efficient fixtures.
Low Volume Toilet Rebate	Yes	No		Potential to phase this out based on new State requirements for water efficient fixtures.
Drip Irrigation System Rebate	Yes	No		Outdated rebate offer with limited participation.
Dishwasher Rebate	No		No	Industry standards are adequate, natural replacement will occur.
Garden in a Box	No		Yes	Offered through Center for ReSource Conservation (CRC)
Buffalo Grass Turf Rebate	Yes		Yes	
<i>Efficient Water Use (Audits)</i>				
Outdoor Water Audits-Residential	Yes	Yes		Offered through Center for ReSource Conservation (CRC)
Outdoor Water Audits-Commercial	Yes	Yes		Offered through Center for ReSource Conservation (CRC)
Indoor Water Audits-Commercial	No		Yes	Offered through Center for ReSource Conservation (CRC)
<i>Ordinances and Regulations</i>				
Water Waste Ordinance/Limit Overspray	Yes		Yes	
Soil Amendments	No	No		Significant time commitment to inspect and verify amendments.
Time of Day Watering Restrictions	No		Yes	These are currently voluntary unless the City is in a Stage 2 Drought or greater. Implement these hours at all times.
Low Water Plants in Medians of Right of Ways	Yes	Yes		
Landscape Training and Certification	No		No	Significant time commitment. Rely on State or regional effort.
Green Building Requirements	Yes	Yes		
Regulation 84 for Reuse Water	Yes	Yes		
Commerical Water Use-Car Wash Regulations	No		Yes	Reach out to local car washes.
Coordinated Message with Local Cities	Yes	Yes		Coordinated effort with local cities to establish Best Management Practices (BMPs)
<i>Education and Outreach</i>				
Newsletter	Yes	Yes		
City Water Conservation Website	Yes	Yes		
K-12 Teacher and Classroom Education Programs	Yes	Yes		Tours of water facilities
Customer Surveys	Yes	Yes		
Water Committee	Yes	Yes		Comprised of City Council members, meetings open to public.
Targeted Water Committees	Yes	Yes		When required, create a public member committee to provide input.
Landscape Design and Maintenance Workshops	Yes	Yes		

4.2 Demand Management Activities

4.2.1 Foundational Activities

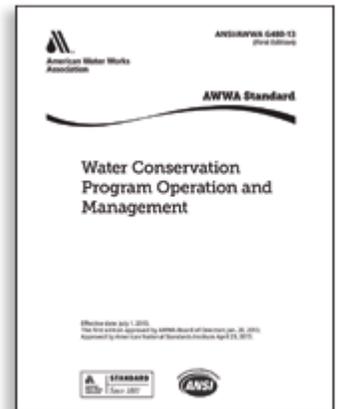
4.2.1.1 Water Conservation Staff

The City does not have a dedicated staff member for water conservation, but they will identify a conservation coordinator as one point of contact for customers with questions about water conservation. City staff members including Dmitry Tepo, Kurt Kowar, and Joliette Woodson will assist with plan implementation.

4.2.1.2 Water Conservation and Integrated Resources Planning

"Integrated resources planning (IRP) is a comprehensive planning effort that incorporates water conservation programs as another option for meeting future needs" (CWCB 2010 Best Practices Guidebook). The City of Louisville implements a rigorous, integrated resources planning approach that fully integrates water conservation into water supply planning processes as exemplified by previous master plans and the development and approval of this plan. The *2014 Louisville Water Efficiency Plan* is a CWCB-approved water conservation plan prepared by CH2M HILL and WaterDM that meets or exceeds all Colorado planning requirements (Attachment 3).

The City of Louisville practices integrated water resources planning through its other water resource planning efforts as well. The City regularly updates their water supply master plan, capital improvement plan, and feasibility studies including the anticipated impacts of water conservation to ensure a diverse, robust, and resilient water supply. It is recommended the City update the *2003 Raw Water Master Plan* with more recent information on water supply and demand.



4.2.1.3 Metering, Water Rates, and Billing Practices

The City of Louisville's metering, water rates, and billing practices all adhere to established best practices for water conservation as described in the following paragraphs.

Metering and Testing. In the City, 100 percent of customers with taps are metered and all customers are billed volumetrically based on their actual consumption. The City is equipped with a drive-by automated meter reading (AMR) system. New meters were installed across the service area in 2010-2011. Water meters in Louisville are tested and replaced based on AWWA recommendations and protocols.

Billing Practices and Water Rates. Customers are billed monthly using an inclining block rate structure described in the Rate Structure – Landscape Efficiency paragraph below. Water rates are adjusted regularly to ensure sufficient revenue is collected to operate the water utility. The rates were most recently updated on May 1, 2014. These rates are included in Attachment 2. A revised conservation oriented rate structure which could include customer-specific water budgets is currently under consideration. The City will also bill volumetrically for sewer service, starting in 2015.

Customer Categorization. The City has classified all customers in the water system based on the type or category of building/account: residential, multifamily, commercial, irrigation, and city. Water use is regularly tracked by customer category. To improve water accounting it is recommended the City begin to track bulk water and authorized uses as categories.

Rate Structure – Landscape Efficiency. The most significant contributor to overall landscape efficiency in Louisville is the City’s increasing block rate water billing structure (Attachment 1) that results in significantly higher bills for customers who use more water. Most frequently this type of inclining block rate structure impacts customers that irrigate their landscape excessively, because it is designed to send a price signal to customers with abnormally high water use during any monthly billing period. The City’s increasing block rate structure provides financial incentive for customers adopt water wise landscaping practices. The City plans to maintain the efficiency components of the water rate structure and plans to evaluate strengthening the water rate structure, while encouraging healthy landscapes.



Separate Irrigation Meters (Submetering). Louisville requires separate irrigation services for certain townhome and multifamily developments. Currently separate irrigation meters are required for HOAs and multifamily residences with more than five units, and are optional for commercial buildings. This is an important best practice that provides better accounting of irrigation demands and offers the opportunity for utilizing landscape water budgets based on the irrigated area. The City will be considering implementing mandatory irrigation taps for large commercial customers as part of this plan.

Tap Fees. The City’s tap fee structure for new development includes efficiency incentives for builders/developers. This is an important best practice that ensures new customers join the City’s water system at a high level of water efficiency, eliminating the need for future retrofits. Under the existing tap fee structure, a lower tap fee can be secured by a builder/developer if proven water efficiency is incorporated into development plans.

Landscape Water Budgets. The City recently completed a rate study (*2013 Rate Evaluation*) where water budgets were considered as an alternative. A number of implementation concepts were considered including informational water budgets and a water budget-based rate structure. Currently, a new water rate structure has not been adopted and the Water Committee and the City Council will revisit changing this structure in late 2014. At a minimum, the City plans to implement informational water budget information that would be available on customer water bills for comparison to actual usage.

4.2.1.4 System Efficiency (Water Loss Control and Pressure Management)

The City of Louisville strives to maintain a high level of water system efficiency within its distribution system and seeks to reduce water loss whenever and wherever possible. The City works to control apparent losses with accurate metering and regular meter testing, as well as assuring that all customers are metered and billed for the water they use.

Leak Detection. The City implements a regular leak detection and repair program for the water system. A private leak detection contractor is hired every other year to bring listening equipment to the City and to search for water main leaks in designated areas of the City. If a leak is detected, the City has a repair crew ready to dig up the pipe and repair the leak.



Water Line Replacement. The City has implemented an ongoing program as part of regular annual maintenance to replace old water lines throughout the City. In this program, the City designates a specific section (or sections) of water lines for replacement each year. Through this process, the entire distribution network is

replaced and upgraded over time. The current focus of this program is the old downtown area, an area with the oldest pipes.

System Wide Water Audit. The City has identified some gaps in the collection of water use data, such as bulk water and authorized unmetered use. The City is planning to perform an annual implementation of the International Water Association (IWA)/AWWA water loss audit method described in AWWA Manual M36. This best practice is a method of auditing and water loss tracking for utilities where real and apparent losses are evaluated and quantified. Cost and benefit considerations are used to help decision makers select the most appropriate next steps for water loss control. Implementing an annual system water audit would be an important step forward for the City.

Reuse Water System. The City has a reuse water treatment plant. Maximizing the use of reuse water for irrigation will offset the demand on treated water. The City plans to increase use of reuse water; the golf course that was destroyed during the flood is being rebuilt with a reuse water distribution system for irrigation.

4.2.1.5 Monitoring and Evaluation

The City of Louisville implements the following monitoring and evaluation efforts to ensure water efficiency goals are met.

High-Demand Customers. The City monitors demands among the largest users in the system as part of the Industrial Pretreatment Program and investigates usage that deviates from previous patterns.

Irregular Water Use. The City's billing staff occasionally detect changes in total water use from month to month. The City is able to identify these locations and follow up to determine the cause of the increase or decrease. These fluctuations are usually due to an undetected water leak or a meter malfunction.

Annual Water Use. Total annual water use is evaluated annually for each customer category. Information from this data helps track the progress of efficient water use.

Evaluation. The City plans on updating the Water Efficiency Plan every 5 to 7 years to meet the CWCB requirements. They will also report water demand data annually to the CWCB under the rules established in House Bill 1051.

4.2.2 Targeted Technical Assistance and Incentives

4.2.2.1 Incentives

Rebate Programs. The City of Louisville currently offers four rebates to customers with an annual budget of approximately \$5,000 each year (see Table 16).

TABLE 16
City of Louisville 2014 Water Efficiency Rebate Offerings

Category	Rebate Amount	Rebate Maximum	Approved Product
Turf Type Buffalo Grass	\$0.25 per square foot	\$75.00	Type "609" Legacy
Drip Irrigation Systems	50% of purchase price	\$50.00	Any major manufacturer. Drip piping/connectors only; installation or "sprinkler" costs are <u>not</u> covered.
High-Efficiency Clothes Washers (1 rebate per customer every 5-year period)	\$75.00	\$75.00	Models meeting CEE Standards (see list)
Toilets (1 rebate per customer every 5-year period)	\$25.00 each (limit 3 per household)	\$75.00	Any 1.5- or 1.6-gallon water saver toilet

The City is phasing out the toilet and clothes washer rebates in the coming years because of Colorado's new state law mandating a transition to water efficient fixtures in the marketplace. Colorado's new state law, SB14-103, requires that as of September 1, 2016, all tank-type toilets, urinals, faucets, and showerheads sold in Colorado will meet the same flow requirements as WaterSense-labeled plumbing fixtures. This law is expected to advance indoor water efficiency in both the residential and nonresidential settings. New construction in Colorado after 2016 should come equipped with high-efficiency fixtures. Retrofits completed after 2016 will include high-efficiency toilets, showers, urinals, and faucets. Louisville understands that this new law significantly reduces the need for water providers to incent customers to purchase high-efficiency fixtures and is planning to phase out their rebate incentive program as a result. The City is also planning to phase out the drip irrigation system rebate because these parts are now readily available from local home improvement stores and there is very limited participation.

In support of shifting the focus of incentives to outdoor watering efficiency the City is planning to maintain the buffalo grass rebate and increase the amount to \$1.00 per square foot up to a maximum of \$150. The City will also consider adding a rebate for weather-based irrigation controllers up to \$100 each. It is important that controllers are WaterSense® labeled to be eligible for the rebate. Soil sensors are also an option but these are more complicated and technology is still improving.

Garden in a Box. The City would like to add the Garden in a Box offered by CRC to the incentive program for residential customers. The program will help educate the public on water efficient landscaping and make it easy for them to implement in their own yard.

4.2.2.2 Water Efficient Fixtures-Indoor

Water Efficient Fixtures – Indoor. In recent years the City has upgraded municipal buildings including City Hall with high efficiency fixtures and appliances. Low-flow faucets, low-volume toilets, and ultra-low-volume urinals are installed at City Hall. Low-flow shower heads were installed at the Recreation Center. This process will continue wherever practical.

High-Efficiency Pre-Rinse Spray Nozzles. To supplement indoor commercial water audits the City is also considering providing high-efficiency pre-rinse spray valves (PRSVs) to local restaurants and cafeterias. PRSVs (see photo to the right) are a proven effective method for reducing water and energy demands in the food service industry.



4.2.2.3 Water Efficient Devices-Outdoor

Central Irrigation System Control. All the City's irrigation systems can be controlled from a central irrigation control system. Watering can be adjusted based on rainfall. The City will evaluate if the central irrigation control system can be further improved through the inclusion of weather-based technology including rain sensors, soil sensors, and ET-based control.

Rain Sensors. The City's irrigation system is not yet linked to rain or soil moisture sensors. The City is considering this technology so the system will automatically adjust to real time rainfall conditions. The potential for reducing water use through implementation of these technologies will be explored.

4.2.2.4 Efficient Water Use – Audits

Indoor Commercial Water Audits. The City already contracts with CRC to conduct landscape irrigation audits. CRC now offers non-residential indoor audits as well and the City is considering adding this service starting in 2016.

Irrigation Efficiency Audits. Improving the efficiency of landscape irrigation and particularly the efficiency of automatic irrigation systems is and will continue to be an important focus of the City's conservation program. The City contracts annually with the CRC to offer free irrigation efficiency audits to interested residential and commercial customers. CRC provides Louisville with an inexpensive and effective way to

offer effective water conservation programs targeted at the areas of greatest need. CRC audits typically include:

- Evaluation of irrigation system performance
- Adjustment of heads to correct for over-spray
- Discussion of appropriate irrigation scheduling with the customer
- Inspection of rain sensors (if installed)

4.2.3 Ordinances and Regulations

Water Waste Ordinance. The City has an approved water waste ordinance that is enacted during times of drought. As part of this ordinance, the City can mandate time-of-day watering restrictions when necessary and has the authority to issue fines and penalties for overspray, wasteful irrigation practices, and time of day violations.

Watering Ordinance. Except in times of drought the City does not have mandatory watering times in place for customers. The City could implement mandatory watering hours during a time of drought as outlined in the *2013 Drought Management Plan*.

Green Building Code. Effective March 31, 2014, the City of Louisville adopted the 2012 International Building Code (2102 IBC).

Landscape Regulations. Louisville's commercial landscape regulations help ensure that new landscapes in the City are water efficient. The CDPHE's Regulation No. 84 prohibits excess runoff from areas irrigating with reuse water.

Regulation No. 84 – Reclaimed Water Control Regulation. The City's reuse water system complies with the Regulation No. 84 that includes requirements for irrigation efficiency to minimize overspray, ponding, and runoff of reuse water.

Soil Amendment Requirements. The City's Open Space Division utilizes soil amendments and low-water plants, but there are no plans to expand the soil requirement to others because the required inspection to verify the requirements is too labor-intensive for the City's current staff.

Commercial Car Wash Regulations. The City is considering reaching out to local car washes to work with them to implement regulations to increase water efficiency. Some of the measures could include recycling of water for new facilities or retrofitting devices for existing facilities to increase water efficiency.

4.2.4 Information and Education

The City encourages the adoption of water wise landscaping practices and efficient irrigation through customer education and information offerings including bill stuffers, brochures, and the City's web site.

Available Information. The City's web site had information on water conservation, water rates, and the City's incentive programs.

Communication. The City distributes a newsletter via mail to inform customers of relevant information for efficient water use and notify customers of upcoming workshops.

Education. The City gives tours of the water facilities for educational purposes. The City also offers instructional workshops for customers on relevant topics such as irrigation efficiency and management.

Water Committee. The City has a Water Committee that is made up of City Council members. They meet two to three times a year to discuss water related issues the City is facing. These meetings are open to the public. Targeted water committees are formed when needed to address specific topics. These committees can be a combination of Council members and the public.

5 Implementation and Monitoring Plan

5.1 Implementation Plan

Many of the programs that the City currently has to encourage efficient water use will continue. A summary of the activities planned for implementation is provided in Table 17. A list of estimated annual costs is provided in Table 18 for planning purposes.

The City plans to implement the following 11 new activities in the next several years:

- Identify a single person as the water conservation coordinator for the City
- Provide customers with theoretical informational water budgets on the monthly bill for comparison to actual use or implement a conservation-oriented water rate structure
- Perform a system-wide water audit in conformance with AWWA Manual M36
- Update this Water Efficiency Plan every 5 to 7 years
- Report water use to CWCB to meet State requirements
- Distribute high-efficiency spray nozzles to local restaurants
- Evaluate the installation of weather-based irrigation controllers for the City's irrigation systems
- Add weather-based irrigation controller rebate for customers
- Add Garden in a Box (offered by CRC) to the incentives for local residential customers
- Add indoor water audits for commercial customers (offered by CRC)
- Evaluate adding mandatory time-of-day (or day-of-week) watering restrictions even when not in a drought
- Reach out to local car washes to establish regulations for efficient water use

In addition to the new activities that the City will consider, the City plans to modify the following three activities:

- Track water use by customer category and add categories for bulk water and authorized uses
- Evaluate if a more aggressive inclining block rate structure would encourage further efficient outdoor water use
- Have a mandatory requirement for separate irrigation taps for large commercial customers

The City will consider removing the following four activities from the program:

- Meters were updated in 2010-2011; they do not need to be upgraded again in the time frame of this plan
- Low-flow shower heads were already installed at the recreation center; therefore, no new heads are needed except for replacement
- High-efficiency clothes washer rebate (potential to phase this out based on new State requirements for water-efficient fixtures and industry standards)
- Low-volume toilet rebates (potential to phase this out based on new State requirements for water-efficient fixtures and industry standards)
- Drip irrigation system rebates

TABLE 17
City of Louisville
Water Efficiency Activity Implementation Summary

Water Efficiency Activities	Existing Activity	Continue/Start/Modify Activity	Implementation Time Frame	Other Notes
Foundational Activities				
<i>Staff</i>				
Water Conservation Coordinator	No	Yes	Immediately	City will designate an existing staff member as the water conservation coordinator.
<i>Planning</i>				
Integrated Water Resources Plans	Yes	Yes	Continue Ongoing	
Master Plans/Water Supply Plans	Yes	Yes	Continue Ongoing	Update the 2003 Raw Water Master Plan
Capital Improvement Plans	Yes	Yes	Continue Ongoing	
Feasibility Studies	Yes	Yes	Continue Ongoing	
<i>Metering, Water Rates, Billing</i>				
Automatic Meter Reading Installation and Operations	Yes	Yes	Continue Ongoing	
Meter Replacement	Yes	Yes	Continue Ongoing	
Volumetric Billing	Yes	Yes	Continue Ongoing	
Monthly Meter Reading and Billing	Yes	Yes	Continue Ongoing	
Track Water Use by Customer Categories	Yes	Modify	w/in 1 year	Add categories for bulk water and authorized use.
Inclining Block Rates	Yes	Modify	2 to 3 years	Evaluate the rate structure to see if more efficiency can be encouraged for outdoor irrigation.
Separate Irrigation Meters-Commercial	Yes	Modify	2 to 3 years	This is currently optional for commercial. Consider mandatory for large customers.
Separate Irrigation Meters-HOAs	Yes	Yes	Continue Ongoing	
Separate Irrigation Meters-Multifamily with 5+ Units	Yes	Yes	Continue Ongoing	
Informational Water Budgets	No	Yes	3 to 5 years	
Tap Fees with Water Use Efficiency Incentives	Yes	Yes	Continue Ongoing	
<i>System Efficiency</i>				
Leak Detection Repair Program	Yes	Yes	Continue Ongoing	
Water Line Replacement Program	Yes	Yes	Continue Ongoing	
System Wide Water Audit	No	Yes	1 to 2 years	Perform water audit in accordance with AWWA M36 method
Phreatophyte Eradication	Yes	Yes	Continue Ongoing	
Reuse Water System	Yes	Yes	Continue Ongoing	Increase distribution of reuse water.
<i>Monitoring and Evaluation</i>				
Track Water Use of Large Customers	Yes	Yes	Continue Ongoing	Large water users are tracked as part of the Industrial Pretreatment Program.
Track Irregular Water Use	Yes	Yes	Continue Ongoing	Billing software alerts if there is a deviation in water use.
Annual Water Use Tracking by Customer Category	Yes	Yes	Continue Ongoing	
Update Conservation Plan	No	Yes	5 to 7 years	Every 5 to 7 years to meet CWCB requirements.
Report Water Use to CWCB	No	Yes	Continue Ongoing	Annually
Targeted Technical Assistance				
<i>Water Efficient Fixtures-Indoor</i>				
Low Flow Faucets	Yes	Yes	Continue Ongoing	Installed at City Hall, expand to other facilities in the future.
Low Volume Toilets	Yes	Yes	Continue Ongoing	Installed at City Hall, expand to other facilities in the future.
Ultra-Low Flush Urinals	Yes	Yes	Continue Ongoing	Installed at City Hall, expand to other facilities in the future.
High Efficiency Pre-Rinse Spray Nozzles	No	Yes	2 to 3 years	
<i>Water Efficient Devices-Outdoor</i>				
Weather-Based Irrigation Controller - City Facilities	Yes	Yes	2 to 3 years	

TABLE 17
 City of Louisville
 Water Efficiency Activity Implementation Summary

<i>Incentives</i>				
Weather-Based Irrigation Controller	No	Yes	2 to 3 years	Includes soil sensor, rain sensor, WaterSense certified
Garden in a Box	No	Yes	1 to 2 years	Offered through Center for Resource Conservation (CRC)
Buffalo Grass Turf Rebate	Yes	Yes	Continue Ongoing	
<i>Efficient Water Use (Audits)</i>				
Outdoor Water Audits-Residential	Yes	Yes	Continue Ongoing	Offered through Center for Resource Conservation (CRC)
Outdoor Water Audits-Commercial	Yes	Yes	Continue Ongoing	Offered through Center for Resource Conservation (CRC)
Indoor Water Audits-Commercial	No	Yes	1 to 2 years	Offered through Center for Resource Conservation (CRC)
Ordinances and Regulations				
Water Waste Ordinance/Limit Overspray	Yes	Yes	Continue Ongoing	
Time of Day Watering Restrictions	No	Yes	1 to 2 years	
Low Water Plants in Medians of Right of Ways	Yes	Yes	Continue Ongoing	
Green Building Requirements	Yes	Yes	Continue Ongoing	
Regulation 84 for Reuse Water	Yes	Yes	Continue Ongoing	
Commerical Water Use-Car Wash Regulations	No	Yes	3 to 5 years	
Coordinated Message with Local Cities	Yes	Yes	Continue Ongoing	Coordinated effort with local cities to establish Best Management Practices (BMPs)
Education and Outreach				
Newsletter	Yes	Yes	Continue Ongoing	
City Water Conservation Website	Yes	Yes	Continue Ongoing	
K-12 Teacher and Classroom Education Programs	Yes	Yes	Continue Ongoing	Tours of water facilities
Customer Surveys	Yes	Yes	Continue Ongoing	
Water Committee	Yes	Yes	Continue Ongoing	Comprised of City Council members, meetings open to public.
Targeted Water Committees	Yes	Yes	Continue Ongoing	When required, create a public member committee to provide input.
Landscape Design and Maintenance Workshops	Yes	Yes	Continue Ongoing	

06

The estimated annual costs for several water efficiency activities are provided in Table 18. Costs have been estimated for activities that have tangible costs such as rebates and water audits. Costs have not been estimated for activities that involve staff time such as establishing ordinances and providing educational outreach; it is assumed these activities will be completed by the designated conservation coordinated as time allows each year. The costs in Table 18 are in addition to the regular operation and maintenance costs that the City already budgets for to maintain pipelines, replace meters, and detect and repair leaks in the distribution system.

TABLE 18
Suggested Annual Budget for Water Efficiency Activities

Water Efficiency Activity	Quantity	Unit Cost	Annual Budget	Notes
System Wide Water Audit	1	\$10,000	\$10,000	Perform every 1 to 2 years.
High-Efficiency Pre-Rinse Spray nozzles	20	\$100	\$2,000	-
Weather-Based Irrigation Controller – City Facilities	1	\$500	\$500	Only include in budget until large City facilities are equipped.
Weather-Based Irrigation Controller Rebate	20	\$100	\$2,000	\$100 rebate; adjust budget each year based on demand from customers
Garden In A Box	20	\$50	\$1,000	\$50 rebate; Typical cost for a box from CRC is \$100
Buffalo Grass Turf Rebate	10	\$150	\$1,500	\$1/sf up to \$150 maximum
Outdoor Water Audits-Residential	1	\$3,000	\$3,000	Lump sum to CRC.
Outdoor Water Audits-Commercial	1	\$3,000	\$3,000	Lump sum to CRC.
Indoor Water Audits-Commercial	1	\$5,000	\$5,000	Lump sum to CRC.
Total Estimated Annual Budget for Rebates, Incentives and Audits	-	-	\$28,000	
Other Annual Costs to Consider:				
Water Conservation Coordinator	200 hrs	\$80/hr	\$16,000	A new staff member is not required so this is not a new cost. The information is provided to give an expectation of effort required.
Other Periodic Costs to Consider:				
Update Water Conservation Plan	1	\$30,000 to \$40,000	\$30,000 to \$40,000	Every 5 to 7 years.

5.2 Monitoring Plan

Monitoring and verification of program effectiveness will be conducted through a combination of tracking efforts to measure the value of the activities being implemented by the City. Of course, some of the proposed water conservation activities such as general customer education and increased water rates will not be measured directly. However, for some of the activities, such as the commercial audits and rebates, tracking individual customer water use will be performed to monitor water efficiency and track customer water use.

The monitoring and verification efforts that the City proposes to initiate include the following:

- Daily, monthly, and annual water treatment plant production
- Monthly water use by each customer category
- Residential, metered, and treated water production per capita values

6 Adoption, Public Review, and Approval

6.1 Public Review Process

A draft of the Water Efficiency Plan was made available to the public for a 60-day public review period from September 10, 2104 to November 10, 2014. Comments were received from the public and updates were made to the plan. A summary of public comments and proof of posting date is provided in Attachment 2. If changes were made to the plan in response to a comment it is noted in the summary. The City thanks the public for their interest and meaningful comments on the plan.

6.2 Efficiency Plan Approval and Adoption

The plan has been approved by City Staff. It was submitted to CWCB for review in November 2014; there were no additional comments and the plan was approved by CWCB in January 2015. The plan will be brought to City Council for formal approval and adoption.

6.3 Plan Review and Update

The City will summarize the findings of the monitoring and verification efforts and provide a briefing to the Water Committee once a year. The City will use these data as the basis for formally updating the Water Efficiency Plan once every 7 years, as required by the CWCB. The plan will be updated by the end of 2021.

6.4 Compliance with State Planning Requirements

A summary of the plan's compliance with State planning requirements is provided in Attachment 3.

ATTACHMENT 1

City of Louisville Water Rate Structure

City of Louisville Water Rates (Effective May 1, 2014)

Residential Accounts (up to 1" meter size)	
Gallons	Rate
Zero - 5,000	\$12.32 (minimum monthly charge)
5,001 - 20,000	\$12.32 for the first 5,000 gallons, plus \$3.55 for each additional 1,000 gallons (or fraction thereof)
20,001 - 30,000	\$65.57 for the first 20,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
30,001 - 40,000	\$153.97 for the first 30,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
40,001 - 50,000	\$249.47 for the first 40,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
50,001 and over	\$351.47 for the first 50,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial and Irrigation Accounts (up to 3/4" meter size)	
Gallons	Rate
Zero - 20,000	\$12.32 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
20,001 - 30,000	\$83.32 for the first 20,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
30,001 - 40,000	\$171.72 for the first 30,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
40,001 - 50,000	\$267.22 for the first 40,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
50,001 and over	\$369.22 for the first 50,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial, Irrigation, and 2 Unit Multifamily Accounts (1" meter size)	
Gallons	Rate
Zero - 40,000	\$24.63 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
40,001 - 60,000	\$166.63 for the first 40,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
60,001 - 80,000	\$343.43 for the first 60,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
80,001 - 100,000	\$534.43 for the first 80,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
100,001 and over	\$738.43 for the first 100,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial, Irrigation, and 3-6 Unit Multifamily Accounts (1.5" meter size)	
Gallons	Rate
Zero - 80,000	\$36.96 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
80,001 - 120,000	\$320.96 for the first 80,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
120,001 - 160,000	\$674.56 for the first 120,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
160,001 - 200,000	\$1,056.56 for the first 160,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
200,001 and over	\$1,464.56 for the first 200,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial, Irrigation, and 7-11 Unit Multifamily Accounts (2" meter size)	
Gallons	Rate
Zero - 160,000	\$49.20 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
160,001 - 240,000	\$617.20 for the first 160,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
240,001 - 320,000	\$1,324.40 for the first 240,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
320,001 - 400,000	\$2,088.40 for the first 320,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
400,001 and over	\$2,904.40 for the first 400,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial, Irrigation, and 12-26 Unit Multifamily Accounts (3" meter size)	
Gallons	Rate
Zero - 320,000	\$98.56 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
320,001 - 480,000	\$1,234.56 for the first 320,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
480,001 - 640,000	\$2,648.96 for the first 480,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
640,001 - 800,000	\$4,176.96 for the first 640,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
800,001 and over	\$5,808.96 for the first 800,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial, Irrigation, and 27-47 Unit Multifamily Accounts (4" meter size)	
Gallons	Rate
Zero - 640,000	\$197.10 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
640,001 - 960,000	\$2,469.10 for the first 640,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
960,001 - 1,280,000	\$5,297.90 for the first 960,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
1,280,001 - 1,600,000	\$8,353.90 for the first 1,280,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
1,600,001 and over	\$11,617.90 for the first 1,600,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

Commercial, Irrigation, and 48+ Unit Multifamily Accounts (6" meter size)	
Gallons	Rate
Zero - 1,280,000	\$394.24 (minimum monthly charge), plus \$3.55 for each 1,000 gallons (or fraction thereof)
1,280,001 - 1,920,000	\$4,938.24 for the first 1,280,000 gallons, plus \$8.84 for each additional 1,000 gallons (or fraction thereof)
1,920,001 - 2,560,000	\$10,595.84 for the first 1,920,000 gallons, plus \$9.55 for each additional 1,000 gallons (or fraction thereof)
2,560,001 - 3,200,000	\$16,707.84 for the first 2,560,000 gallons, plus \$10.20 for each additional 1,000 gallons (or fraction thereof)
3,200,001 and over	\$23,235.84 for the first 3,200,000 gallons, plus \$10.88 for each additional 1,000 gallons (or fraction thereof)

ATTACHMENT 2

Public Review Supporting Documentation

Following is a summary of all comments received by the City of Louisville during the Public Review period from September 10, 2014 to November 10, 2014. If changes were made to the plan it has been noted in the response.

Comment 1: Can reuse water be extended to commercial irrigation?

Response: The quality of reuse water Louisville produces does allow commercial users and HOAs, but at this point, Louisville doesn't have the water rights to accommodate additional reuse customers. Most water rights the City owns are single use, and once they are used in the municipal system and treated by the wastewater treatment plant, they must be returned to the waterways where they originated. Only a small portion of the City's rights allow being reused multiple times. During the golf course reconstruction, there were several supply taps added that will be brought online in the near future, but the City is water rights limited after that point.

Comment 2: I'd like to see more education/outreach on xeriscaping. The City may want to reach out to local nurseries and landscapers to promote plants that require less water. The report says that the City has education on landscaping methods, but I haven't see any info on that and it's not obvious where to find such information (not easily found on the website).

Response: The City partners with the Center for ReSource Conservation to conduct sprinkler system audits and a Water-Wise Landscape Seminar. As part of this project, we will review the website to make sure information is easy to find. The City is also planning to participate in CRC's garden in a box program.

Comment 3: Because the City bills for water, the City may want to experiment with methods of providing social pressure to reduce water consumption on the water bills. Water bills provide an easy comparison between this year and last year, but not with how the household compares with other households. I would like to see some grading of a household's water use with comparable households. For example, the water bill could grade a resident A to F for how well the resident conserves water. Or, perhaps something softer like Gold, Silver, Bronze. Or provide percentile information. I think this would give residents a better understanding of how much they consume water. If the City wanted to be systematic about this, the City could do this grading for half the residents and not do anything for the other half, and then see if this information affected consumption. The City could get a CU prof to coordinate this project and then the CU prof can publish a paper and the City could get free publicity from that study.

Response: The City conducted a utility rate study last year, which determined adequacy of rates (how much people pay) and rate structures (how charges are incurred). This work was done with a citizen task force, which made the ultimate recommendations. The task force recommended a water budget structure, which is widely viewed as the most conservation oriented of the structures typically used by water providers. The Council initially did not believe this rate structure was justified, but agreed to further consider it for the future. This conversation will be continuing over the next year to determine which structure will be implemented. As part of this discussion, the Council already expressed interest in providing an educational component on utility bills. If the City adopts the water budget structure, staff will have to gather information such as landscaped area and indoor water consumption, which will make the type of comparison you are asking about possible. If this structure is not implemented, staff will have to evaluate what kind of educational information can be provided.

Comment 4: The section on climate change's impact on water use is disappointing. No one expects the water plan to have a completely accurate prediction of the future, so the "crystal ball" comment is completely unnecessary and a little patronizing. One possible expectation from climate change is wilder swings in rainfall -- sometimes more flooding, sometimes longer droughts. We should be able to understand how prepared the City is for a more extreme event, which could be based on so many standard deviations from the historical average. The current "plan" on how to deal with climate change is not helpful -- "regularly update and refine demand projections based on actual current conditions." Isn't this something that should be done in the absence of climate change? How is this plan for climate change different? What does it even mean?

Response: For a municipality of Louisville's size, regularly updating forecast projections and working with other municipalities to share knowledge and observations would be our ongoing preparations. With Louisville's staff and resources, we would not be able to stay on the cutting edge of the climate change research. However, when we are working with a world-class consultant, such as CH2M Hill, we should get a summary of most current data. I will ask CH2 to provide more detail in that section. You are correct, the City is always evaluating its capacity to respond to droughts. Louisville currently owns more water rights than what is required for serve its population, but if the demands outstrip supply, the City already has tools to manage that by declaring the various drought stages and purchasing supplemental water supplies. Additional information was added to the plan in Section 2.4.1.1.

Comment 5: Section 4.2.2.3: What does the City have to consider with rain sensor/weather-based irrigation technology before making a decision? Section 5.1 shows some contradiction with weather-based irrigation. The City is going to add a rebate for this technology for customers, but the City still has to evaluate the controllers for the City's systems. If it's cost effective for customers and worth the City to pay customers to install these controllers, shouldn't these be cost effective for the City?

Response: That could use some clarification. Having spoken to the Parks and Open Space Departments in the past, I believe they would like to install rain sensors, but it is a question of priority when it comes to spending their budget. Until recently, City Departments did not pay utility bills, so there was no financial incentive for them to conserve water, although I believe they are mindful of their water consumption. I expect that a stronger emphasis on water efficiency will emerge with phasing in water charges. Additional information was added to the plan in Section 4.2.2.3.

Comment 6: While I support a single person as the water conservation coordinator for the City, I'm concerned that the report says a new staff member is not required (Table 18). Is this work going to displace other work normally done by staff? Or were these duties done by several people in the past so the idea would be that we could just reallocate resources? If so, how many employees were doing the water conservation coordinator duties in the past year?

Response: This plan was compiled with the requirement that all conservation programs be handled by existing staff. CH2's recommendation is that one staff member be the point of contact for conservation issues. Currently, conservation issues are handled by two staff members who would have to shift workloads to accommodate that recommendation. If staff determines that cannot be done, other options would be evaluated, such as hiring more staff or cutting conservation programs.

Comment 7: Table 1 does not appear to include CBT storage which comes with CBT water. The Marshall Lake storage volume appears to ignore the foreign water storage right. If these two components of storage are included in table 1 the available storage would be noticeably greater.

Response: The following information was added to Table 1: Colorado-Big Thompson: 1,447 acre-feet. Staff verified that all storage accounts have been included in the Marshall storage number. The storage total was updated.

Comment 8: Page 1-2, the maximum divertible yields are noticeable less than my recollection of the potential from the City's basin water rights, if all rights are diverted at the maximum volumes allowed.

Response: The annual yield from South Boulder Creek is 3,000-5,100 acre-feet/year.

Comment 9: In Table 2 there is mention of the WWTP, water supply limits and system reliability. It is not clear why this material is in a water conservation plan.

Response: The WWTP flow is related to the capacity of the reuse system, and the State requires information on existing infrastructure.

Comment 10: Tables 15 and 17 are very good summaries. They will make monitoring and updating the conservation plan straightforward.

Response: Thank you

Following is proof the plan was posted for Public Review on September 10, 2014 and instructions were provided for how to submit comments.

Figure 1 – Notice of Draft Water Efficiency Plan for Public Comment

The screenshot shows the Louisville, KY city website. At the top, there is a navigation bar with links: HOME, SERVICES, GOVERNMENT, BUSINESS, VISITING, and I WANT TO... Below this is a banner image of a building with a person walking. The main content area is divided into three columns: QUICK LINKS, MEETINGS & EVENTS, and NEWS & NOTICES. The QUICK LINKS column includes links for Library Services, Recreation Services, City Council, Coal Creek Golf Course, Employment Info, Event Calendar, Receive Emails, and Contact Us. The MEETINGS & EVENTS column lists several meetings, including an Open Space Advisory Board Meeting on September 10, a Library Board of Trustees Meeting on September 11, a Planning Commission Meeting on September 11, a Business Retention & Development Committee meeting on September 17, and a South Boulder Road Small Area Plan Kick Off Meeting on October 8. The NEWS & NOTICES column contains numerous items, including Fertilizer Application in Bluegrass Parks, a notice for the Draft Water Efficiency Plan Available for Public Comment (highlighted in red), South Boulder Road Small Area Plan, US 36 Construction Information, Planning Projects, Flood Recovery Update, Coal Creek Trail & County Road Bridge Information, Coal Creek Golf Course Disaster Recovery Project, Comcast Cable Franchise Renewal, 2015 Budget Calendar, Emerald Ash Borer Information, Severe Weather Notifications, Transit Options, and Cable Television Service in Louisville. On the right side, there are two promotional banners: one for 'UNDER CONSTRUCTION' at Coal Creek Trail and another for the 'LOUISVILLE 2014 FAMILY PHOTOGRAPHY CONTEST'.

•HOME SERVICES• GOVERNMENT• BUSINESS• VISITING• I WANT TO...•

QUICK LINKS

- Library Services
- Recreation Services
- City Council
- Coal Creek Golf Course
- Employment Info
- Event Calendar
- Receive Emails
- Contact Us

MEETINGS & EVENTS

- September 10 Open Space Advisory Board Meeting, 7:00 PM
- September 11 Library Board of Trustees Meeting, 6:30 PM
- September 11 Planning Commission Meeting, 6:30 PM
- September 17 Business Retention & Development Committee 2:30 PM
- October 8 South Boulder Road Small Area Plan Kick Off Meeting, 6:30 PM

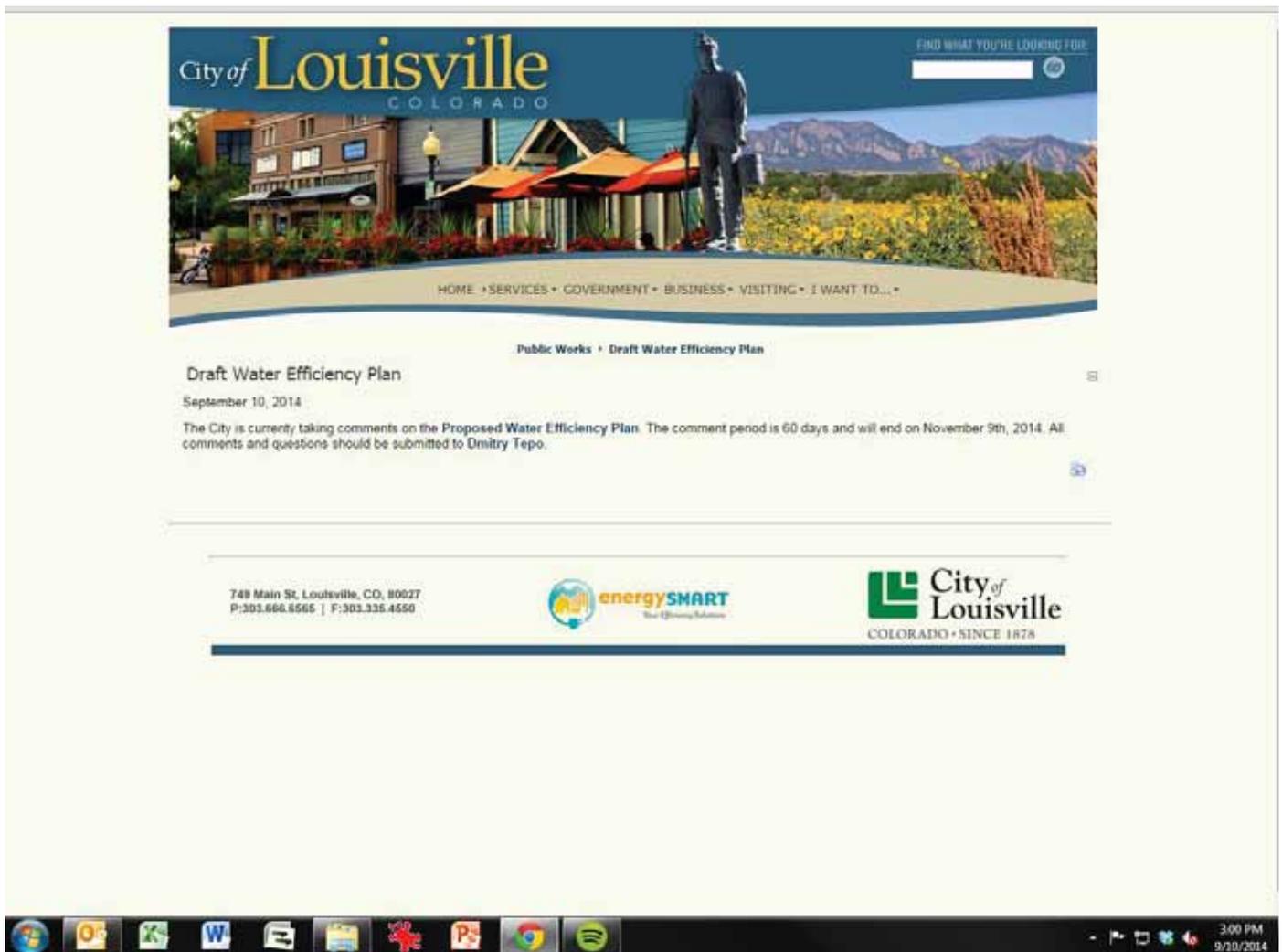
NEWS & NOTICES

- Fertilizer Application in Bluegrass Parks - September 11
- Draft Water Efficiency Plan Available for Public Comment**
- South Boulder Road Small Area Plan - *What do you want for South Boulder Road*
- US 36 Construction Information
- Planning Projects, Information, and Notices
- Construction Updates
- Flood Recovery Update - Golf Course, Coal Creek Trail, & County Road Bridge Information updated 8/5/14
- Coal Creek Golf Course Disaster Recovery Project
- Comcast Cable Franchise Renewal Underway updated July 14
- 2015 Budget Calendar and Important Meeting Dates
- Emerald Ash Borer Information
- Current Information from the Boulder Office of Emergency Management
- Severe Weather Notifications
- Transit Options and Information
- Current Requests for Proposals, Qualifications, and Bids
- Sign Up for City Council Meeting Notices
- Cable Television Service in Louisville

www.louisvilleco.gov/LinkClick.aspx?link=796&tabid=36

1:55 PM 9/10/2014

Figure 2 – Link to Plan and Email Address



ATTACHMENT 3

Compliance with State Requirements

Compliance with State Planning Requirements

Colorado Revised Statute § 37-60-126 requires a covered entity to develop, adopt, make publicly available, and implement a water conservation plan that will encourage its domestic, commercial, industrial, and public facility customers to use water more efficiently. Key elements that must be fully evaluated in development of the plan are listed as follows:

1. Water-saving measures and programs including: (I) water-efficient fixtures and appliances; (II) water-wise landscapes; (III) water-efficient industrial and commercial water-using processes; (IV) water reuse systems; (V) distribution system leak identification and repair; (VI) information and education; (VII) conservation oriented rate structure; (VIII) technical assistance; (IX) regulatory measures designed to encourage water conservation; (X) incentives to implement water conservation techniques including rebates.
2. Role of conservation in the entity's supply planning.
3. Plan implementation, monitoring, review, and revision.
4. Future review of plan within 5-7 years.
5. Estimated savings from previous conservation efforts as well as estimates from implementation of current plan and new plan.
6. A 60-day minimum public comment period (or other time period based on local ordinance).

The following section of the plan details the City of Louisville's compliance with this statute.

City of Louisville Compliance

The City of Louisville developed this conservation plan in order to comply with C.R.S. § 37-60-126. Each element of compliance is documented below.

1. Consideration of specific conservation measures

(I) ***Fixture and appliances*** – The City actively promotes the installation of water efficient fixtures and appliances through their regular conservation education efforts. City facilities have been upgraded with high-efficiency fixtures and appliances, including City Hall (low-flow faucets, low-volume toilets) and the recreation center (low-flow shower heads, ultra-low flush urinals, and a pool cover). The City currently offers a high-efficiency toilet rebate and clothes washer rebate, but both will be phased out in the coming years because of changes to the state and federal regulations that mandate water efficient products at the retail level. A new Colorado law passed in 2014 will phase in mandatory sale of WaterSense labeled toilets and showerheads. The City is planning to implement a high-efficiency pre-rinse spray valve installation program in the coming years.

(II) ***Water wise landscape*** – The City actively promotes water wise landscaping practices through their regular conservation education efforts and conservation-oriented rate structure. Outdoor irrigation efficiency audits are offered by the Center for Resource Conservation (CRC) for residential customers. The City has design standards and guidelines for commercial customers that incorporate low-water-use plants and efficient irrigation. The City encourages the installation of water wise landscapes through buffalo grass rebates and a new rebate program for weather-based irrigation controllers. The City irrigates a significant number of properties using reuse water and will continue to seek new opportunities for reuse water irrigation.

(III) ***Commercial, Industrial and Institutional (CII) measures*** – The City actively promotes CII water conservation through their regular conservation education efforts and conservation-oriented rate structure. The City plans to implement a commercial audit program through the Center for ReSource

Conservation, targeted at high demand customers. As part of this effort the City will install high efficiency pre-rinse spray valves (where appropriate) in commercial kitchens.

(IV) **Water reuse systems** – The City's wastewater treatment plant (WWTP) has the capability to treat a portion of the water to be reused for irrigation. Reuse water is primarily used for irrigation at Coal Creek Golf Course, Community Park, Sports Complex, Miner's Field, and the WWTP. The City is actively working to expand use of reuse water.

(V) **Water loss and system leakage reduction** – The City of Louisville strives to maintain a high level of water system efficiency within its distribution system and seeks to reduce water loss whenever and wherever possible. The City works to control apparent losses with accurate metering and regular meter testing, as well as assuring that all customers are metered and billed for the water they use. The City implements a regular leak detection and repair program for the water system. A private leak detection contractor is hired every other year to bring listening equipment to the City and to search for water main leaks in designated areas of the City. If a leak is detected, the City has a repair crew ready to dig up the pipe and repair the leak. The City plans to implement an annual M36 Water Loss Control audit beginning in 2015.

(VI) **Information and public education** – A key component of the City's water conservation efforts is public education and information. The City regularly provides information to customers about ways to conserve water and avoid water waste through flyers and bill stuffers and the utility web site. The City also maintains conservation materials and information that are available upon request. The City communicates about water use and conservation with their customers using the following tools and methods:

- Regular newsletter distributed.
- Water conservation information available on the City's website.
- A water committee made up of City Council members; meeting agendas are posted and the public are welcome at any meeting. The purpose of the committee is to provide information to the City Council about current City water activities.
- Educational opportunities including school tours of water infrastructure facilities.
- Instructional workshops for customers on relevant topics such as irrigation efficiency and management.
- Landscape design and maintenance workshops (through the Center for Resource Conservation [CRC]).

(VII) **Water rate structure** – The City currently bills its customers on a monthly basis using a conservation-oriented increasing block rate structure (described in Attachment 1). This conservation oriented rate structure was updated in 2014.

(VIII) **Technical assistance** – The City obtained a grant from CWCB for this plan and contracted with CH2M HILL Engineers, Inc. and WaterDM to develop the plan.

(IX) **Regulatory measures** – The City relies on the following regulatory measures to improve water use efficiency:

- Louisville Municipal Code (Title 17) established development Design Standards & Guidelines for commercial, industrial, and mixed use developments that incorporate low-water-use plants and efficient irrigation concepts into the landscape design of each development.

- Water waste ordinance, includes overspray limitations.
- Voluntary time-of-day watering restrictions.
- Compliance with Colorado Department of Public Health and Environment's (CDPHE's) Regulation No. 84 limits runoff, ponding and overspray from areas using reuse water.
- Soil amendment practices for City's Open Space.
- Louisville Municipal Code established development Design Standards & Guidelines for commercial.

(X) *Incentives* – The City has offered rebates for many water efficiency products in the past. Under this plan the City will offer rebates for buffalo grass, Garden-in-a-box, weather-based irrigation controllers, and high-efficiency pre-rinse spray valves.

2. Role of conservation in raw water supply planning

This water conservation plan represents the City of Louisville's most comprehensive effort to integrate water conservation into water supply planning. Through this plan, the City has established that their raw water supply is sufficient to meet future growth.

3. Plan implementation, monitoring, review, and revision

The City monitors water use on a regular basis and will continue to do so. The City produces monthly and annual demand reports for each customer sector and the system as a whole and keeps close track of demand. The City will review and update this water conservation plan every five to seven years. During this review, progress towards achieving the stated conservation goals will be evaluated.

4. Future review of plan within seven years

The City will review and update this water conservation plan every seven years or as needed.

5. Estimated savings from previous conservation efforts and current plan

Past savings: Based on a gradual increase of savings over time the total water saved since 1999 from demand management is estimated to be 326 MG (1,001 acre-feet).

Future savings: If the elements of this plan are fully realized, then it is estimated that water demand at 2032 will be reduced by 241 MG (0.66 mgd) as result of passive and active water conservation measures.

6. Public comment period

As per state statute, the City of Louisville conducted a 60-day public comment period of this water conservation plan. The public comment period began on September 10, 2014 and was concluded on November 10, 2014. Citizens and interested parties were invited to comment via legal advertisement and web site posting. The plan was posted on the City's web site and hard copies were made available at public offices. Upon completion of the public comment period, the conservation plan will be submitted to CWCB for review. After CWCB review and approval the plan will be finalized and adopted by City Council.





COLORADO

Colorado Water
Conservation Board

Department of Natural Resources

1313 Sherman Street, Room 721
Denver, CO 80203

January 6, 2015

Kurt Kowar
Public Works Director
City of Louisville
749 Main Street
Louisville, CO 80027

Dear Mr. Kowar:

On December 4, 2014, the Colorado Water Conservation Board (CWCB) received a locally adopted Water Efficiency Plan from the City of Louisville for review and approval. The CWCB has determined the Plan to be in accordance with §37-60-126 and the CWCB's Guidelines for the Office to Review Water Conservation Plans Submitted by Covered Entities. The Plan is hereby approved and Louisville may proceed with its implementation.

The Plan will be kept on file at the CWCB and shall be accessible to the public through our website and the Water Resource Information Center. The Plan will also be made available to the Colorado Water Resources & Power Development Authority and the Finance section within the CWCB should you apply for a loan from either agency.

As Louisville begins implementing the efficiency measures outlined in the Plan, please know that the CWCB staff will be available to provide technical and financial assistance.

Thank you again for all your efforts in developing a Water Conservation Plan. Should you have any questions or need additional assistance, please feel free to contact Kevin Reidy at 303-866-3441 ext 3252.

Sincerely,

Rebecca Mitchell
Section Chief, CWCB Water Supply Planning

cc: Joliette Woodson, City of Louisville
Holly Werth, CH2M HILL
Mike Brod, Colorado Water Resources & Power Development Authority
Kirk Russell, Colorado Water Conservation Board



SUBJECT: DELO PHASE 2

- 1. ORDINANCE NO. 1682, SERIES 2015 - AN ORDINANCE APPROVING THE VACATION OF PORTIONS OF THE 50-FOOT WIDE UNIMPROVED EAST LAFAYETTE STREET RIGHT – OF - WAY DEDICATED TO THE CITY BY THE PLAT OF INDUSTRIAL AREA SUBDIVISION IN THE CITY OF LOUISVILLE – 1st Reading - Set Public Hearing 03/17/2015**
- 2. RESOLUTION NO. 14, SERIES 2015 – A RESOLUTION APPROVING FINAL SUBDIVISION PLAT, SPECIAL REVIEW USE (SRU) AND A FINAL PLANNED UNIT DEVELOPMENT (PUD) TO DEVELOP PHASE 2 OF A REDEVELOPMENT PROJECT WITHIN THE CORE PROJECT AREA OF THE HWY 42 FRAMEWORK PLAN. THE PROJECT INCLUDES A DIVERSITY OF HOUSING PRODUCTS, CIVIC SPACES, URBAN PLAZAS, STREETSCAPES AND COMMERCIAL OPPORTUNITIES – Set Public Hearing 03/17/2015**

DATE: MARCH 3, 2015

PRESENTED BY: SEAN MCCARTNEY, PRINCIPAL PLANNER - PLANNING AND BUILDING SAFETY DEPARTMENT



SUMMARY:

DELO, Inc. has submitted a final Plat, final Planned Unit Development (PUD), final Special Review Use (SRU), and right-of-way vacation request to develop Phase 2 of the 14.13 acre Downtown East Louisville (DELO) mixed use redevelopment project. The project is located in the Highway 42 Revitalization District.

The application consists of 5 townhomes, 130 apartments, and 31,066 sf office / restaurant / retail space. The five townhomes are proposed to be added to the approved DELO Phase 1/1a. The remaining apartments and commercial uses are requested to be located in the southern portion of the development, near the proposed South Street Gateway.

The approved DELO Phase 1/1a combined with this Phase 2 request, if approved, would include a total of 190 residential units (60 townhomes and 130 apartments) and 32,066 sf of office / restaurant / retail uses. The total of these final development plans have 54 fewer residential units and 20,066 sf more commercial uses when compared to the approved preliminary PUD. This proposal also reduces the total number of two and three bedroom apartments requested by 63 units and increases the studio and one bedroom apartments by 21 units when compared with the preliminary PUD.

Land Use	Preliminary Plat/PUD	Final Plat/PUD	Change	Notes
<i>Total Res. Units</i>	244	190	- 54	22% decrease
<i>- TH Units</i>	72	60	- 12	17% decrease
<i>- Apt. Units</i>	172	130	- 42	24% decrease
<i>- Studio/1 Bed Apt. units</i>	87	108	+ 21	20% increase
<i>- 2/3 bed Apt. units</i>	85	22	- 63	75% decrease
<i>Commercial</i>	12,000 sf	31,066 sf	+ 20,066 sf	158% increase

BACKGROUND**Highway 42 Revitalization Area, Highway 42 Framework Plan**

DELO represents the initial redevelopment of the “core” of the Highway 42 revitalization area and first use of Section 17.14 of the Louisville Municipal Code (LMC) and its associated mixed use development design standards and guidelines (MUDDSG).

The City developed the Highway 42 Framework Plan in 2003 to define a vision for the area compatible with Downtown Louisville, adjacent neighborhoods, and oriented toward the future RTD investment. The Framework Plan included a requirement to continue Louisville’s interconnected traditional street network.

In 2007, the City of Louisville created the Mixed Use Overlay District (Sec. 17.14 of the LMC) and the MUDDSG to provide the regulation tools necessary to guide the character of future development in the area.

DELO Preliminary PLAT, PUD, and SRU

City Council approved a preliminary Plat/PUD/SRU for DELO on August 20, 2013. During the preliminary process, City Council also approved modifications to the adopted Highway 42 Land Use Plan (Exhibit A) and a rezoning request for portions of the property from Industrial (I) to Mixed-Use Residential (MU-R). Specifically, City Council approved:



- **Resolution No. 42, Series 2013** – A resolution approving a Preliminary Subdivision Plat, Preliminary PUD, and a Preliminary SRU, for the Downtown East Louisville (DELO) Development, allowing up to 244 residential units and 12,000 square feet of commercial space.
- **Ordinance No. 1637, Series 2013** – An Ordinance amending Chapter 17.14 of the Louisville Municipal Code, modified the land use plan, incorporated as “Exhibit A”, to allow a roadway shift on Cannon Street and a redesign of the central park area and the area identified for an RTD transit facility be changed to MU-R.
- **Ordinance No. 1638, Series 2013** – An Ordinance approving a rezoning of a 14.18-acre parcel of land located at 1125 Short Street, 1330 Cannon Street, 1341 Cannon Street, 1000 Griffith Street, and 1004 Griffith Street from the I zone district MU-R.

DELO Phase 1/1a Final PLAT, PUD, and SRU

City Council approved a Final Plat/PUD/SRU for Phase 1 and 1A of DELO on July 1, 2014. The initial phase included the development of 55 residential townhome units and 1,000 sf of office use to be located on 6.75 acres in an area bounded by Griffith Street to the north, East Lafayette Street to the south, the Burlington Northern Santa Fe (BNSF) rail road to the west and Cannon Street to the east.

REQUEST:

Final Subdivision Plat

The proposed final subdivision plat provides a replat of the subdivision approved with DELO Phase 1/1a. Prior to the DELO subdivision, the property was platted within two previous subdivisions: The Industrial Area and the Caledonia Place Subdivisions. The Caledonia Place Subdivision was approved by City Council in 1890. The Industrial Area

Subdivision was approved by City Council in 1959. The majority of property was platted in the Caledonia Place Subdivision. Properties north of Short Street were replatted with the Industrial Area Subdivision.

Blocks

The proposed block layout of the DELO Phase 2 development area complies with the MUDDSG and matches the scale and style established in the street layout of the modified Highway 42 Revitalization Plan's Land use Exhibit A.

Streets and Alleys

All of the streets in the DELO development are intended to serve local traffic and provide low speed interconnections between the future Coal Creek Station, Little Italy and Miners' Field neighborhoods. As such, the streets are narrow and designed to accommodate on-street parking:

Cannon Street: 60' right of way width: 12' scored concrete walk with landscaping, 7'6" parallel parking, 10'6" drive lane (2), 7'6" parallel parking, 12' score concrete walk with landscaping.

Short Street: 50' right of way width: 5' attached sidewalk, 7' parallel parking, 11' drive lane (2), 7' parallel parking, 5' attached sidewalk.

The street sections proposed have been reviewed and approved by the Public Works Department and the Louisville Fire Protection District.

Access to the development will be provided by Short Street, South Street Cannon Street, and Front Street (a private roadway located in DELO Phase 1/1a).

Sidewalks will be provided on both sides of the streets. Bicycle traffic will be accommodated on-street, as it is in Downtown Louisville and Old Town. Special street design treatments are proposed to create low speed environments. The proposed street designs would ensure lower vehicle travel speeds and provide for a safe on-street environment instead of dedicated bike lanes or separate trails.

Woonerf

DELO Phase 2 completes the formal development of Cannon Street between Griffith Street and South Street. Cannon Street between East Lafayette and South Street is proposed to be designed as a "Woonerf". Woonerf is a Dutch word that roughly translates as "living-street". The woonerf (pronounced VONE-erf) functions with minimal traffic control devices such as lane dividers, stop signs or curbing. The purpose of the woonerf design is to raise spatial awareness of all users and to create a space which encourages human interactions.

Woonerfs are often built at the same grade as sidewalks without curbs. Cars are limited to speeds that do not disrupt opportunities of other modes of travel (usually below 25 mph). To make this speed natural, woonerfs are set up so cars cannot drive in a straight line for significant distances. Street narrowing, curves, and other traffic calming measures are purposefully designed to refocus the motorist’s attention to the immediate surroundings and not “down-street”. These design features raise motorist awareness and reduce the design speed of the roadway. However, it is important to note, early methods of traffic calming such as speed humps are avoided in favor of methods which make slower speeds more natural to motorists, rather than an imposition.

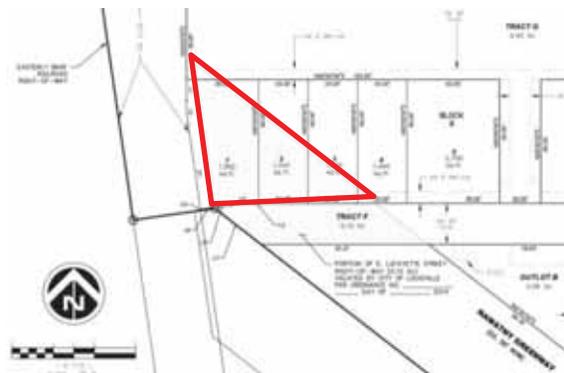
Woonerf designs deliberately reduce the vehicle speeds and create a greater sense of uncertainty, making it unclear who has right of way. As a result, all users’ awareness is raised, improving safety. Public Works staff has reviewed the proposed design and is comfortable with the woonerf’s design features given the anticipated low traffic volumes.



Woonerf in Cherry Creek - Denver, CO

Right-of-way Vacations

The applicant is requesting a small (western most) portion of East Lafayette Street be vacated to “complete” the southernmost residential block in Phase 1. This vacation, if approved, would allow the construction of four townhome units. Staff is supportive of this vacation request to complete the residential block and adhere to the Land Use Map Exhibit A in the Highway 42 revitalization Plan. The underground 60” storm sewer was rerouted out of this right-of-way as part of the public improvements in DELO Phase 1.



East Lafayette Street (east of Cannon Street) is proposed to be vacated and developed for parking and private access. A 40' utility easement, if vacated, would be placed over the existing 60" storm sewer. If Council approves this vacation request, required access would be on Short Street and the extension of Cannon Street. The utility easement ensures municipal access for maintenance of the storm sewer.



Public Land Dedication

It has been staff's past practice to recommend City Council waive the land dedication requirements identified in Section 16.16.060 of the LMC for projects that have been previously platted in the City.

Two public open space areas would be dedicated in this PUD: Nawatny Greenway (Outlot B, Outlot C and westerly portion of East Lafayette Street) and Caledonia Plaza (Outlot A). Both open space areas would be dedicated to the City. The developer would be responsible for the maintenance (clean up and mowing) while the City would be responsible for the upkeep (repair and replacement) and water.



Nawatny Greenway



Caledonia Plaza

FINAL PUD DEVELOPMENT PLAN

Land Use

The MU-R district requires a minimum mixture of two different land uses for the developments on property larger than five acres in size. The proposed development is requesting three land uses: residential, commercial and office. The proposed land uses comply with the LMC Chapter 17.14. Section 17.14.060 of the LMC defines a minimum residential density of 12 units per acre and a maximum density of 20 units per acre in the MU-R district. The applicant is requesting a density of 13 units per acre. Specifically, the applicant is requesting:

	Use(s)	# of DU's	Height	Parking Provided/Required	Ratio per unit
Phase 1 / 1A	Residential - Townhomes	55	Min: 1 stories/35' Max: 3 stories/45'	159/131	2.65
Phase 2 – Residential	Townhomes	5	Min: 1 stories/35' Max: 3 stories/45'	159/131	2.65
	Apartments	130	Min: 2 stories/35' Max: 3 stories/45'	283/171	2.18
Phase 2 – Commercial	Restaurant, Retail, Office	31,066 SF	Min: 1 stories/16'* Max: 3 stories/45'		

* the 1 story component of the commercial building requires a waiver; 2 story is the minimum height allowed.

Site Design

DELO, if approved, provides the following site design features:

Residential Dwellings fronting Streets - The proposed buildings face the right-of-way and are set along the back of sidewalks. Primary doors would open toward the street, allowing stoops along the sidewalks and balconies facing the right-of-way. This design contributes to an active street and complies with Crime Prevention through Environmental Design (CPTED) principles (“eyes on the street”) and shared spaces best practices promoted in the MUDDSG.

Residential Dwellings facing Open Space - The proposed development also provides eyes on the proposed open space areas by allowing buildings to front public spaces.

Block 14 has a building fronting Caldeonia Plaza and Block 13 has a building adjacent to Nawatny open space. The townhomes in Phase 1/1a also provide eyes on the Nawatny open space.

Pedestrian Access – The proposed development is intended to create a positive pedestrian experience through a series of human scaled connections, public access points, pedestrian oriented architecture and walkable streets.

Transition to existing Residential Development – The proposed building facing South Street complies with transition requirements in Section 8 the MUDDSG, specifically:

- Buildings and structures in the MU-R, or CC zoned properties shall be setback from the street ten feet when facing RM zone district.
- Building Heights within 50 feet from the edge of the street right-of-way facing the RM zone district shall not exceed thirty five feet.

Transportation

The applicant provided a Traffic Impact Analysis (TIS) during the Preliminary PUD. The analysis showed the traffic generated would not adversely affect the surrounding roads. Highway 42 would continue to operate at a peak hour Level of Service (LOS) E, its current LOS, through the year 2035.

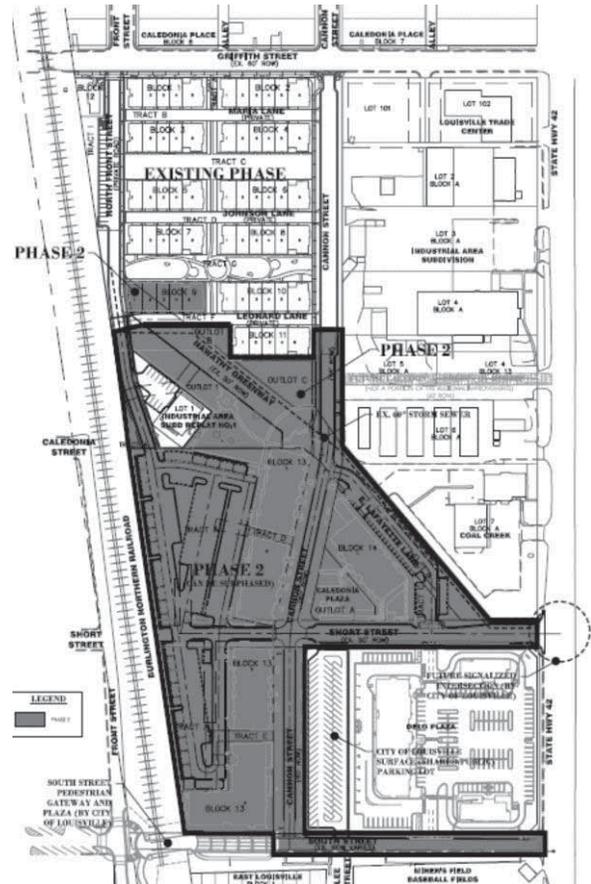
Staff requested the applicant provide an updated TIS for the final PUD because the proposed development program increased the commercial sf by 20,000 sf. The new analysis indicated the traffic on Hwy. 42 would continue to operate at the existing LOS. However, side street traffic would be expected to experience increased delays until the proposed signal at Short Street is installed per the Hwy. 42 recommendations.

Public Art

Three locations are proposed to be set aside for the City to place public art. Sheet 30 of 34 provides a site detail showing where potential “future” public art could be located.

Bulk and Dimension Standards

DELO Phase 2 complies with the bulk and dimension standards established in the MUDDSG except those highlighted below:



Phase 2	Required	Proposed
Min. Lot Width	40'	40'
Min. Lot Coverage	40%	40%
Min. Landscape Coverage	10%	10%
Max. Footprint	10,000 SF	15,000 SF
Max. Length along street	200'	200'
Min. % of street frontage	70%	70%
Building setbacks		
Min. & max. street setback (principal use)	Max: 10' Minimum: 0'	Max: 10' Minimum: 0'
Min. side yard setback (principal and accessory uses)	0'	0'
Min. rear yard setback (principal uses)	20'	20'
Min. rear yard setback (accessory uses)	5' (lane)	0' (lane)
Maximum Building Height		
Principal Uses	Min: 2 stories/35' Max: 3 stories/45'	Min: 1 story/16' Max: 3 stories/45'
Accessory Uses	20'	20'

- X – Requires waivers for the apartments.
- X – Requires waivers for the commercial/office building.
- X – Requires a Special Review Use (SRU)

WAIVERS

The applicant requests the following five waivers to the LMC.

Waiver	Requirement	Request	Location
Street sections	Suburban	Shared Spaces/walkable	Phase 2
Min. Building Height	2 Stories/35'	1 Story/16'	Building D, Block 13
Min. Rear Setback – Accessory Structures	20'	0'	Phase 2
Indoor Eating & Drinking Establishments	Gross Floor Area: 5,000 SF	Gross Floor Area: 6,000 SF	Phase 2
Signs	-No roof mounted -No monument signs in MU-R	-Roof mounted -Monument sign in MU-R	-Building D, Block 13 -Block 14

Street Sections

Section 16.16.030.O.1 of the LMC requires a collector roadway right-of-way width of 60-feet and a curb to curb width of 38-feet. The applicant proposes a right-of-way width of

60-feet for Cannon Street, but requests a curb to curb reduction from 38-feet to 34-feet. The applicant proposes a more walkable street design than the standard Louisville street design required by the LMC. Having narrower street sections will provide the following pedestrian safety improvements:

- Reduced speeds,
- Increased pedestrian and bicycle visibility, and
- Reduced pedestrian crossing distances.

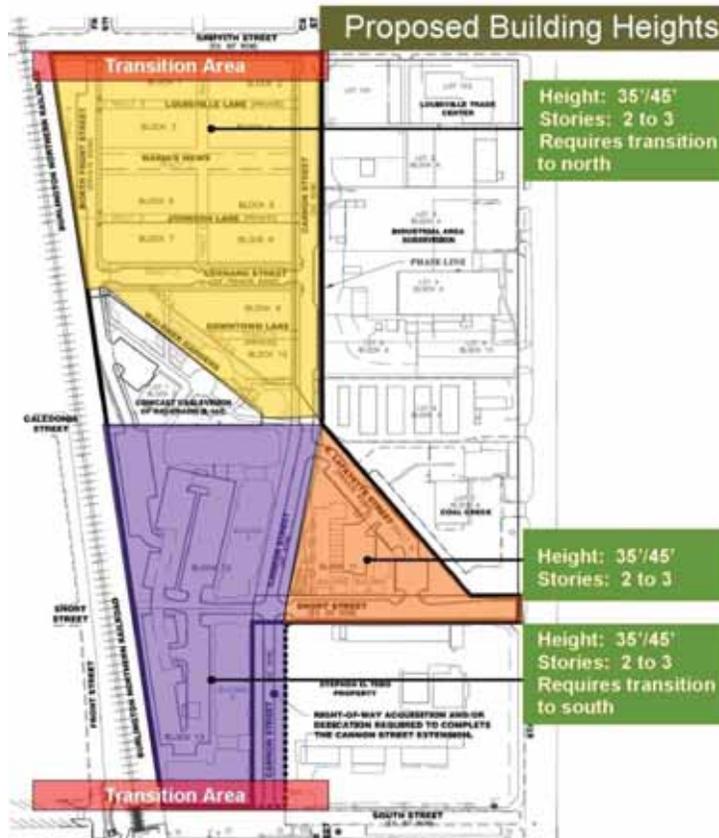
The slower traffic and lower vehicle noise on narrow streets also contribute to higher on-street parking utilization, improved likelihood of ground floor land uses opening their door and windows to the street, and raise the likelihood of pedestrians and bicyclists using the street.

The applicant proposes on-street parking, but the area for parking would narrow from 8-foot wide (standard) to 7'6"-feet wide. The proposed travel lane would also be reduced in width from 11-feet (standard) to a 10'6"-foot travel lane. These widths conform to American Association of Highway and Transportation Officials (AASHTO) guidelines, but are not incorporated into the City of Louisville current street standards. The City Council has granted waivers for a 34-foot curb-to-curb width for the Lanterns PUD as well as Elm Street in Downtown Louisville. The Public Works Department and Louisville Fire Protection District have reviewed and support the request.

Minimum Building Height

Section 17.14.060 of the LMC requires a minimum building height of 35 feet and two stories, while allowing a maximum height of 45 feet and three stories in the MU-R district. The proposed development complies with the height and story requirements established in the MUDDSG except for a waiver request for the commercial building (Building D) located in Block 13. The applicant requests a waiver to allow a minimum building height of one (1) story and 16' for a portion of the commercial building (Building D) located at the southern portion of Block 13.

Section 8 of the MUDDSG requires a transition of height for any development abutting the Residential Medium (RM) zone district. The code states "*within 50 feet from the edge of the street right-of-way, the average height of a building shall not exceed 35 feet.*" The applicant's proposal complies with the transition height requirements.



Rear Yard Setback

The applicant requests a waiver to the 20’ rear yard setback requirement in the MUDDSG. The intent of the 20’ rear yard setback is primarily for developments having a retail component on the ground floor to allow for surface parking located behind the building along the alley. The applicant requests this waiver because they want to locate covered parking along the western boundary of the surface parking lot in Block 13.

Staff does not believe a 20’ rear yard setback is necessary in this instance because the applicant proposes to provide covered parking with the waiver. This would be similar to the Old Town Overlay, which allows zero setbacks for garages along alleys.

Signs

Signs in the MUDDSG area are governed by either the Commercial Development Design Standards and Guidelines (CDDSG) or the Downtown Sign Manual. If the properties are located along or face Hwy 42, then the CDDSG is required. Signs for development on internal streets are governed by the Downtown Sign Manual.

The applicant requests waivers for two proposed signs: a roof mounted sign to be located on Building D, Block 13, and a monument sign to be located in Block 14.

Roof Mounted Sign – Building D, in Block 13 would be commercial building on Cannon Street. Signs along Cannon are regulated by the Downtown Sign Manual. The Downtown Sign Manual does not allow signs above the roof line of a building. The applicant requests a roof mounted sign on the single story structure above the proposed restaurant space. The applicant requests a roof mounted sign in hopes of creating an iconic sign structure similar to the Empire sign in Downtown Louisville. Staff supports the request to establish an iconic element for this development.

Monument Sign – The applicant requests a monument sign be placed next to the parking lot, adjacent to Short Street, on Block 14. Because this block is not located facing Hwy 42, it must use the Downtown Sign Manual. The Downtown Sign Manual does not permit monument signs. The applicant requests the monument sign as a gateway sign to the subdivision. Staff believes this property is close enough to Hwy 42 and the applicant should be allowed to use the CDDSG as the regulatory document. The proposed monument sign complies with the standards established in the CDDSG.

Parking

Phase 2 would provide an overall parking ratio of 2.25 spaces / unit, exceeding the MUDDSG required 2.0 spaces / unit. Parking would be provided off-street (both covered and not), and on-street (which counts towards commercial and residential visitor allowances). The off-street surface lots are located to the rear of buildings. The proposed bicycle parking is not counted in the overall parking ratio.

Architecture and Building Design

The MUDDSG is fairly specific on architectural and building design standards (Section 9). According to the MUDDSG, the standards are intended to “*promote high-quality building, streetscape, and open area design and construction that will give the MU-R and CC Zone Districts an identifiable character and unique physical image.*”

The intent is also to “*create the appearance of development that occurred over a period of time, architectural features of new developments, including rooflines, materials, colors, door and window patterns, and decorative elements, should vary in form and style.*” Although the requirement of architecture which creates “*development that occurred over a period of time*” is difficult to attain in an apartment complex, the buildings are designed to be more modern than the adjacent single family homes and industrial buildings. Therefore they do appear they have been developed over time compared to the immediate area.

During the preliminary PUD process the applicant was preliminarily granted a special review use that removed the ground floor retail requirement in the MU-R zone district. A condition of the approval required the applicant to demonstrate that the proposed architectural design elements for ground floor residential in the MU-R district capture the essence of the requirements established in the MUDDSG. The special review use section of this report, following the PUD section, addresses how the architectural elements on the ground floor comply with these SRU conditions.

The applicant requests allowing architectural projections into privately owned tracts (see footnote #4 on sheets 5 and 6). The extensions are needed to provide for flexibility in architecture, allowing for extensions that would provide visual relief on the façade. If approved, staff recommends requiring footnote #4 specify which tracts would be affected.

SPECIAL REVIEW USE

The applicant requests ground floor residential uses along portions of Cannon Street and building footprints in excess of 10,000sf.. Section 17.14.050 of the LMC identifies ground floor residential along Cannon Street in the MU-R zone district as a Special Review Use (SRU). Section 17.14.060 of the LMC identifies buildings in the MU-R district with footprints in excess of 10,000 sf permitted as an SRU.

The purpose of an SRU is to create performance standards that requested land uses must retain in order to remain compatible with the surrounding neighborhood. The intent of the ground floor retail requirement along Cannon Street in the MUDDSG is to boost the economic performance of the district and create an activated architectural ground floor and street experience to ensure a high quality pedestrian environment. Similarly, the maximum building footprint of 10,000 sf in the MU-R ensures buildings would not dwarf the expected residential character of the MU-R.

Ground Floor Retail

Since adopting the ground floor retail requirement in the MUDDSG, many people have questioned the viability of ground floor retail along a secondary street such as Cannon Street. The Louisville Revitalization Commission (LRC) facilitated a number of forums focusing on the potential retail performance of ground floor retail on Cannon Street and whether this ground floor requirement creates a liability for the district that limits investment in the area. During the forums participants noted that Cannon Street is not expected to carry adequate volume of traffic necessary to support ground floor retail.

While the questionable viability of ground floor retail on Cannon Street provides grounds for granting an SRU, exclusive residential architecture introduces a number of design challenges that must be addressed to ensure a high quality pedestrian experience. If not properly designed, residential architecture (unlike retail) could “turn its back” to the street and remove many important architectural features that are necessary to ensure a

high quality pedestrian experience, such as operable doors and windows, building entries, and higher quality ground floor architectural details.

The Preliminary PUD and SRU approved the ground floor residential along Cannon Street if the following design conditions were demonstrated in the final PUD. Staff's analysis of the applicant's designs is highlighted in **bold**.



Preliminary PUD and SRU Condition of Approval

The Applicant shall demonstrate the following architectural details for the residential buildings along Cannon Street at Final PUD:

Horizontal Variation

1. Vary the horizontal plane of a building to provide visual interest and enrich the pedestrian experience, while contributing to the quality and definition of the street wall. **The applicant has addressed this condition by proposing material changes, front porches, windows patios and planter boxes on the first floor level – all of which would enrich the pedestrian experience.**
2. Horizontal variation should be of an appropriate scale and reflect changes in the building function, structure, and materials. **The applicant proposes architecture with appropriate scale that includes pedestrian level building functions, structure and materials.**
3. Avoid extensive blank walls that would detract from the experience and appearance of an active streetscape. All elevations provide windows, varied materials, varied colors, varied roof lines and vertical landscaping – all of which provide an active streetscape. **The applicant proposes a four sided architectural product with varied materials, bump outs, step backs and varied rooflines.**
4. Provide well-marked public and private entrances to cue access and use through compatible architectural and graphic treatments. **The applicant has designed all public and private entrances with compatible architectural and graphic treatments to cue access.**

5. Provide operable doors and windows on the ground floor street front of buildings. Section 9.3.B.1 of the MUDDSG requires “thirty-five (35%) of the total wall area of each street-facing ground floor building façade shall be comprised of pedestrian entrances (doors), windows, and/or vehicle entry drives.” **The applicant proposes approximately 56% of the total wall area on each street facing unit would be openings.**
6. Main residential building entrances should read differently from retail storefronts, restaurants, and commercial entrances. **The proposed architecture for Building D, the commercial building, is very different from the residential structures.**

Vertical Variation

1. Employ a different architectural treatment on the ground floor façade than on the upper floors, and feature high quality materials that add scale, texture and variety at the pedestrian level. **Although the proposed elevations provide architectural continuity throughout, the proposed elevations do employ bump outs, step backs and varied materials to differentiate the ground floor façade from the upper floors. The first floors are much taller than the other floors with different window sizes, and a different material treatment than the upper floors.**
2. Vertically articulate the street wall façade, establishing different treatment for the building’s base and upper floors. **For the reasons stated above, staff believes this request has been met.**
3. Use balconies, fenestration, or other elements to create an interesting pattern of projections and recesses. **The proposed elevations use extending eaves, balconies, porches and awnings to create an interesting pattern of projections and recesses.**
4. Provide an identifiable break between the building’s ground floors and upper floors. This break shall include a change in material, change in fenestration pattern or similar means. **The proposed elevations use varied materials and height to provide an identifiable break.**
5. Provide more fenestration on the ground floor than upper floors. **The proposed elevations, especially at the building entrances, provide more fenestration on the ground floor than upper floors.**

Maximum Building Footprint

Section 17.14.060 of the LMC limits building footprints in the MU-R to a maximum of 10,000 sf. Buildings with footprints in excess of 10,000 sf in the MU-R require an SRU. In reviewing the request, Building D is proposed to be located on the corner of

Cannon Street and South Street. Building D, as stated earlier, is proposed to have a varied roof line, with one portion being 1-story in height (16-feet).

Staff believes the building footprint request of 15,000 sf works in the corner location as no single view from a street would present a building footprint experience in excess of the other buildings proposed in the development.

Special Review Use Criteria

Louisville Municipal Code § 17.40.100.A lists five criteria to be considered by the Planning Commission and City Council in reviewing a Special Review Use application, which follow. The City Council may place conditions on its approval, if Council believes those are necessary to comply with all of the criteria.

- 1. That the proposed use / development is consistent in all respects with the spirit and intent of the comprehensive plan and of this chapter, and that it would not be contrary to the general welfare and economic prosperity of the city or the immediate neighborhood;*

Exhibit A, which designates the land use framework for the MUDDSG, originally required ground floor retail along Cannon and South Street. In 2012 the City Council authorized a modification to the MUDDSG to permit ground floor residential along Cannon and South Street as an SRU. The 2013 Comprehensive Plan reflects the land use framework as it was established in the MUDDSG and updated in Exhibit A.

The corner location of the building along with the proposed architectural treatments will not detract from the mixed use residential character of the MU-R. Both requests are consistent with the spirit and intent of the comprehensive plan.

Staff believes the criterion is met for both requests with the final design of the PUD.

- 2. That such use / development will lend economic stability, compatible with the character of any surrounding established areas;*

The proposed Building D provides 31,066 sf of commercial office and restaurant uses. The expanded building and proposed land uses will lend to the economic vitality of the neighborhood and City.

The proposed ground floor residential use also lends economic stability to the surrounding established area as future residents will become consumers of the restaurants and specialty retail businesses found in Downtown Louisville. This area will be within walking distance of downtown via the adjacent South Street Gateway. Future residents will likely be walking to Downtown, not driving, adding to the vitality of downtown without adding parking impacts. Staff believes the criterion is met for both requests with the final design of the PUD.

3. *That the use / development is adequate for the internal efficiency of the proposal, considering the functions of residents, recreation, public access, safety and such factors including storm drainage facilities, sewage and water facilities, grades, dust control and such factors directly related to public health and convenience;*

The proposed final design provides appropriate internal efficiency consistent with the requirements of the MUDDSG. Staff believes the criterion is met for both requests with the final design of the PUD.

4. *That external effects of the proposal are controlled, considering compatibility of land use; movement or congestion of traffic; services, including arrangement of signs and lighting devices as to prevent the occurrence of nuisances; landscaping and other similar features to prevent the littering or accumulation of trash, together with other factors deemed to affect public health, welfare, safety and convenience;*

The Final PUD adequately controls the external effects of the proposed ground floor residential on Cannon Street consistent with the requirements of the MUDDSG. Staff believes the criterion is met for both requests the final design of the PUD.

5. *That an adequate amount and proper location of pedestrian walks, malls and landscaped spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities.*

The final PUD development adequately promotes the proper location of pedestrian walks, malls and landscaped spaces. Staff believes this criterion is met for both criteria with the location of the building and the architectural conditions stated above.

COMCAST PROPERTY

The Comcast property is centrally located in the DELO development and operates as a cable and telecommunications hub for the region. The attached Letter of Interest (LOI) between Comcast the applicant shows the interest Comcast has in selling a portion of their property for the development of this project. They will be retaining a portion of the property for building, while the remainder of the property will be developed as part of the Nawatny Greenway and the extension of North Front Street.

REFERRAL COMMENTS

Boulder Valley School District (BVSD)

The Boulder Valley School District (BVSD) was a referral for this development. A letter from BVSD dated January 20, 2015 states this development proposes “a student impact of 13 students on the Louisville Elementary, 4 students on Louisville Middle School and 5 students on Monarch High School feeder system.” The letter goes on to state “When

considering DELO Phase 2 FDP, all other development activity in Louisville and resident enrollment growth within the attendance areas of Louisville schools, Louisville Middle and Monarch High are able to accommodate projected growth. Louisville Elementary, however, is likely to exceed its program capacity within 5 years should growth within the existing housing stock of central Louisville continue at its current pace. Elementary capacity in Louisville as a whole, however, is ample to accommodate continued enrollment growth.”

Louisville Revitalization Commission (LRC)

The LRC was referral on this project because they are in charge of implementing the Urban Renewal Plan approved to remove impediments to the redevelopment of the Highway 42 Revitalization Area. The LRC supports this project and is currently working with the owners to determine the specifics for the new public infrastructure.

Louisville Fire Protection District (LFPD)

The LFPD has reviewed the submittal, worked with the developer on turning templates, and concluded the final development satisfies the District’s requirements.

PLANNING COMMISSION ACTION:

The Planning Commission held a public hearing on February 12, 2015 to consider the applicant’s proposal. The Commission passed a resolution recommending approval of the SRU, final plat, and final PUD by a 6-0 vote.

The majority of the conversation was positive. The primary questions were about:

- The amount of parking
- Lighting of the roof mounted sign
- Materials used for the woonerf
- The final design of the Nawatny Greenway if drainage is off site

In summary, the Planning Commission concluded this will be a high-quality project and supported the development. There were no public comments presented at the meeting.

FISCAL IMPACT:

The applicant submitted a fiscal impact study based on the City’s fiscal model during the Preliminary Plat and PUD review. The study concludes, *“the DELO development will result in \$261,428 in on-going annual revenue to the City and to generate \$308,112 on-going annual expenditures. The result is a net fiscal on-going operations balance of negative \$46,684 annually. The fiscal study demonstrates an annual recurring revenue stream of \$84,413 from sales tax revenue that is dedicated to capital projects, open space, and historic preservation. The total net on-going fiscal balance would be positive by \$37,729. The proposed development would have a net negative capital impact based on the model factors. The development would impose \$2,539,568 upon the City in demand for new capital investments. The project is estimated to generate*

SUBJECT: DELO PHASE 2

DATE: MARCH 3, 2015

PAGE 19 OF 19

\$2,290,633 in one-time revenue. The net fiscal balance provides a one-time capital negative impact of \$248,936.”

The preliminary PUD included a development program of 244 residential units and 12,000 sf of commercial development. The final PUD program yields only 190 residential units and 31,066 sf of commercial development. Staff anticipates the final PUD, if approved would provide a more positive fiscal impact than the program approved with the preliminary PUD.

RECOMMENDATION:

Staff recommends City Council approve Ordinance No. 1682, Series 2015 on 1st reading and set 2nd reading and public hearing for March 17, 2015.

Staff has determined the waivers are appropriate under LMC Section 17.14.090 to allow for an effective development given the location and surrounding land uses.

ATTACHMENTS:

1. Resolution No. 14, Series 2015
2. Ordinance No. 1682, Series 2015
3. Application documents – Land Use Application, Letter of Intent, etc.
4. Final Plat
5. Final PUD
6. BVSD Referral Letter
7. Fire District Referral Letter
8. Letter of Interest – Comcast
9. Trip Generation Comparison
10. Planning Commission Minutes_021215

**RESOLUTION NO. 14
SERIES 2015**

A RESOLUTION APPROVING FINAL SUBDIVISION PLAT, SPECIAL REVIEW USE (SRU) AND A FINAL PLANNED UNIT DEVELOPMENT (PUD) TO DEVELOP PHASE 2 OF A REDEVELOPMENT PROJECT WITHIN THE CORE PROJECT AREA OF THE HWY 42 FRAMEWORK PLAN. THE PROJECT INCLUDES A DIVERSITY OF HOUSING PRODUCTS, CIVIC SPACES, URBAN PLAZAS, STREETSCAPES AND COMMERCIAL OPPORTUNITIES

WHEREAS, there has been submitted to the Louisville City Council an application for approval of a final subdivision plat, special review use (SRU) and a final planned unit development (PUD) to develop phase 2 of a redevelopment project within the core project area of the HWY 42 framework plan. The project includes a diversity of housing products, civic spaces, urban plazas, streetscapes and commercial opportunities, formally known as DELO; and

WHEREAS, the subject property is in the Highway 42 Revitalization Area; and

WHEREAS, the ground floor residential along Cannon Street requires a special review use permit and staff has found the request with conditions meets the five criteria established in Section 17.40.100 in the LMC; and

WHEREAS, the City Staff has reviewed the information submitted and found it to comply with the LMC Sec. 16.12.030, Sec. 17.14.090, Sec. 17.28.170; and Sec. 17.40.100.

WHEREAS, after a duly noticed public hearing on February 12, 2015, where evidence and testimony were entered into the record, including the findings in the Louisville Planning Commission Staff Report dated February 12, 2015, the City of Louisville Planning Commission approved a resolution to forward a recommendation of approval, with the following conditions, to the City Council;

1. The applicant shall continue to work with the City on the specifics of the maintenance of open space and roadways. Final details will be included in the submittal packet prior to City Council.
2. If an offsite solution cannot be found, staff requires the detention basin and public gathering space, as depicted in DELO Phase 1 and 1A, be located in Outlot B, Outlot C and within the E. Lafayette Street right of way. The basin should be designed to provide stairs, stepping down from Cannon Street through the proposed retaining walls, to make this space more publically interactive. The stairs should be a minimum width of 50 feet along Canon Street, or a mutually support design alternative that is open and accessible.
3. Should a regional offsite detention basin be created to detain the drainage of the Highway 42 development (including DELO Phase 1/1A and Phase 2), staff

requires the applicant reinstate the plans for Nawatny Greenway as depicted in DELO Phase 2 PUD.

4. The applicant shall comply with the PUD/Plat comments listed in the Public Works memo dated February 5, 2015 prior to City Council, and

WHEREAS, City Council has reviewed the application, including the recommendation of the Planning Commission and finds that said final PUD development plan should be approved, subject to four conditions listed below.

NOW THEREFORE, BE IT RESOLVED that the City Council of the City of Louisville, Colorado, based on the evidence and testimony presented at the hearings, does hereby approval of a final subdivision plat, special review use (SRU) and a final planned unit development (PUD) to develop phase 2 of a redevelopment project within the core project area of the HWY 42 framework plan. The project includes a diversity of housing products, civic spaces, urban plazas, streetscapes and commercial opportunities, formally known as DELO, with the following conditions:

1. The applicant shall continue to work with the City on the specifics of the maintenance of open space and roadways. Final details will be included in the submittal packet prior to City Council.
2. If an offsite solution cannot be found, staff requires the detention basin and public gathering space, as depicted in DELO Phase 1 and 1A, be located in Outlot B, Outlot C and within the E. Lafayette Street right of way. The basin should be designed to provide stairs, stepping down from Cannon Street through the proposed retaining walls, to make this space more publically interactive. The stairs should be a minimum width of 50 feet along Canon Street, or a mutually support design alternative that is open and accessible.
3. Should a regional offsite detention basin be created to detain the drainage of the Highway 42 development (including DELO Phase 1/1A and Phase 2), staff requires the applicant reinstate the plans for Nawatny Greenway as depicted in DELO Phase 2 PUD.
4. The applicant shall comply with the PUD/Plat comments listed in the Public Works memo dated February 5, 2015 prior to City Council.

PASSED AND ADOPTED this 17th day of March, 2015.

Robert P. Muckle, Mayor

ATTEST:

Nancy Varra, City Clerk

**ORDINANCE NO. 1682
SERIES 2015**

**AN ORDINANCE APPROVING THE VACATION OF PORTIONS OF THE
50-FOOT WIDE UNIMPROVED EAST LAFAYETTE STREET RIGHT-OF-
WAY DEDICATED TO THE CITY BY THE PLAT OF INDUSTRIAL
AREA SUBDIVISION IN THE CITY OF LOUISVILLE.**

WHEREAS, by the plat of Industrial Area Subdivision, recorded January 22, 1960, in Plat Book 7, at Page 58, Boulder County Records, there was dedicated to the City a 50-foot wide right-of-way for East Lafayette Street extending diagonally from North Front Street to Short Street for an approximate distance of 833.34 feet; and

WHEREAS, proper application has been made to the City for vacation of two portions of the East Lafayette Street right-of-way of approximately 0.10 acres and 0.44 acres, as depicted on Exhibit A; and

WHEREAS, the City Council has determined that the two portions of East Lafayette Street right-of-way for which vacation has been requested are not and have not been used or required as a roadway or thoroughfare for the public; and

WHEREAS, the City Council has determined that the two portions of East Lafayette Street right-of-way for which vacation is requested are not and will not be needed for any public purposes other than for the installation, operation, maintenance, repair, upgrading and replacement of existing and future public utilities; and

WHEREAS, the City Council has determined that the two portions of East Lafayette Street right-of-way for which vacation is requested are not being used or held for park purposes or for any other governmental purposes; and

WHEREAS, the City Council desires to approve the application and vacate the City's interests in the portions of East Lafayette Street right-of-way described herein for which vacation is requested, subject to the provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO:

Section 1. Subject to the provisions of Section 2 hereof, the City hereby vacates those two portions of East Lafayette Street right-of-way, which are further described and depicted on Exhibit A, attached hereto and which portions, being approximately 0.10 acres and 0.44 acres are hereafter referred to as the "Street Right-of-Way". Title to the portions of the vacated Street Right-of-Way shall vest in the manner provided by law.

Section 2. Expressly reserved from the vacation set forth in Section 1 above are any dry utility easements, City of Louisville exclusive utility easements, drainage and utility easements, and other easements dedicated by the final subdivision plat of the DELO Subdivision – Replat No. 1,

Ordinance No. 1682, Series 2015

Page 1 of 2

which easements are not affected by this Ordinance and shall remain in place for existing and future public utilities purposes as set forth in said final subdivision plat, as in effect and amended from time to time. Further, easements for existing public utilities, if any, shall not be altered or amended by virtue of this Ordinance.

Section 3. The Mayor and City Manager, or either of them, is authorized to execute such additional documents as may be necessary to evidence the vacation of the Street Right-of-Way herein vacated, including execution of quit claim deeds. All actions heretofore taken in furtherance of the vacation of the Street Right-of-Way are hereby ratified and confirmed.

Section 4. All other ordinances or portions thereof inconsistent or in conflict with this ordinance or any portion hereof are hereby repealed to the extent of such inconsistency or conflict.

INTRODUCED, READ, PASSED ON FIRST READING, AND ORDERED PUBLISHED this ____ day of _____, 2015.

Robert P. Muckle, Mayor

ATTEST:

Nancy Varra, City Clerk

APPROVED AS TO FORM:

Light | Kelly, P.C.
City Attorney

PASSED AND ADOPTED ON SECOND AND FINAL READING, this ____ day of _____, 2015.

Robert P. Muckle, Mayor

ATTEST:

Nancy Varra, City Clerk



August 15th, 2014

Mr. Sean McCartney, Principal Planner
Mr. Troy Russ, Planning Director
Mr. Scott Robinson, Planner II
City of Louisville Planning Department
749 Main Street
Louisville, CO 80027

RE: Submittal Letter for the Final Phase 2 DeLo PUD and Plat

Mr. Russ,

The Assemblage:

DeLo, LLC would like to thank the Planning Commission for giving us the opportunity to present the Final Phase 2 DeLo PUD and Plat. Since 2010, DeLo has been working diligently with longtime local landowners and the City of Louisville in an effort to assemble various parcels of “blighted” land within the Core Project Area of the Highway 42 Framework Plan. Currently, DeLo owns almost 4 City blocks or approximately 10.76 acres that is bound by Griffith Street to the North, the Burlington Northern Santa Fe railroad to the West, South Street to the South, and State Highway 42 to the East. This assemblage is intended to allow for the creation of a cohesive high quality mixed-use neighborhood in the heart of the revitalization area that includes a diversity of housing products, civic spaces, urban plazas, inspiring streetscapes, and various commercial opportunities.

On July 1st the Louisville City Council approved the first two phases of DeLo. These phases include 55 uniquely designed townhomes that cater to empty nesters, 1,500 square feet of office space via an historically located and repurposed house, and maybe most importantly, the beginning of significant infrastructure improvements within the Core Project Area. These infrastructure improvements will literally “pave” the way for the successful development of DeLo Phase 2.

Phase 2:

DeLo Phase 2 will finally allow for the extension of Cannon Street to the South Street Pedestrian Gateway. Along the extension of Cannon Street, patrons of DeLo will have an opportunity to enjoy many new civic spaces. Such as Nawatny Greenway, Caledonia Plaza, and the portion of Cannon Street that has been designed as a woonerf or shared space. The Cannon Street Woonerf will allow pedestrians and vehicles to operate as equals creating a safer street that has the ability to host civic events while creating a strong sense of place within DeLo. Caledonia Plaza, proposed as a fulcrum along Cannon Street, spatially defined by the apartments, and the

DELO, LLC
21 South Sunset Street
Longmont, CO



commercial and office buildings to the south. The urban quality of this centralized civic space, will serve as a gateway to the DeLo neighborhood, and a destination plaza to the greater community. Terraced hardscape will be softened through the use of planting beds and sculpted shade structures, providing a hierarchy of spaces, suitable for a variety of activities, and establishing a semi-private zone of transition to the residences in the form of front stoops and small private yards. The sectional quality of building to plaza to street has been developed with the shared pedestrian and vehicular activities in mind, and the creation of a highly activated public realm, appropriate for this centralized public space. The buildings within this area are envisioned to be larger (approximately 36.5') one, two, and three bedroom apartments. Service and parking will be accessed from the rear, further encouraging an active pedestrian presence along the street and throughout Caledonia Plaza. Proposed finish materials at the plaza include colored concrete, pavers, masonry and natural stone, complimented by the use of tree boxes and planting beds of sod, native grasses and flowers. Site furnishings, such as benches and pedestrian scaled lighting will help to provide human scale to the larger civic space. Building materials will be compatible with those of the plaza and streetscape, and will likely include masonry, lap and panel siding, and stucco finishes.

In summary, DeLo Phase 2 has been designed with the community at large in mind and an emphasis on creating strong civic spaces. Along Cannon Street, adjacent to civic these various spaces and the South Street Pedestrian Gateway, DeLo Phase 2 will host 5 town homes, 108 apartments, and approximately 26,000 square feet of local Class A office space and retail.

Respectfully,

A handwritten signature in blue ink, appearing to read "Justin McClure". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Justin McClure
DELO, LLC
21 South Sunset Street
Longmont, CO 80503

DELO, LLC
21 South Sunset Street
Longmont, CO



LAND USE APPLICATION

CASE NO. _____

APPLICANT INFORMATION

Firm: DELO, LLC

Contact: Justin McClure

Address: 21 South Sunset Street
Longmont, CO 80503

Mailing Address: Same As Above

Telephone: 303.475.2106

Fax: _____

Email: justinrmcs@gmail.com

OWNER INFORMATION

Firm: DELO, LLC

Contact: Justin McClure

Address: 21 South Sunset Street
Longmont, CO 80503

Mailing Address: Same As Above

Telephone: 303.475.2106

Fax: _____

Email: justinrmcs@gmail.com

REPRESENTATIVE INFORMATION

Firm: RMCS, Inc

Contact: Justin McClure

Address: 21 South Sunset Street
Longmont, CO 80503

Mailing Address: Same As Above

Telephone: 303.475.2106

Fax: _____

Email: justinrmcs@gmail.com

PROPERTY INFORMATION

Common Address: 1025 Short Street

Legal Description: Lot 1 Lots 1-5 Blk 13,9
 Subdivision DELO

Area: 7.38 a/c Sq. Ft.

TYPE (S) OF APPLICATION

- Annexation
- Zoning
- Preliminary Subdivision Plat
- Final Subdivision Plat
- Minor Subdivision Plat
- Preliminary Planned Unit Development (PUD)
- Final PUD
- Amended PUD
- Administrative PUD Amendment
- Special Review Use (SRU)
- SRU Amendment
- SRU Administrative Review
- Temporary Use Permit: _____
- CMRS Facility: _____
- Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

PROJECT INFORMATION

Summary: A request for a Final PUD and Final Plat of DELO Phase 2. The proposal will allow for the redevelopment of the old Aggregate property. It includes a mix of uses including apartments, civic spaces, unique infrastructure, and various commercial offerings. DELO Phase 2 represents the catalyst project for the Core Project Area.

Current zoning: MU-R Proposed zoning: MU-R

SIGNATURES & DATE

Applicant: [Signature]

Print: Justin McClure

Owner: [Signature]

Print: Justin McClure

Representative: [Signature]

Print: Justin McClure

CITY STAFF USE ONLY

- Fee paid: _____
- Check number: _____
- Date Received: _____

DELO SUBDIVISION - REPLAT NO. 1

A REPLAT OF LOT 1 BLOCK 9, LOT 1 BLOCK 13 AND TRACTS E, F, G, H, AND J OF DELO SUBDIVISION
PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 1 OF 3

LEGAL DESCRIPTION

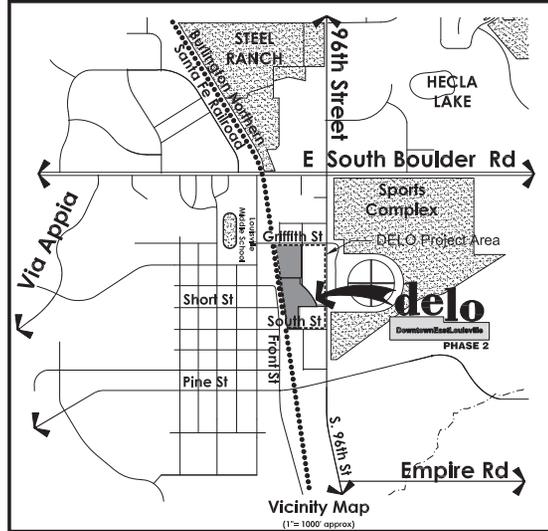
DOWNTOWN EAST LOUISVILLE (DELO):

A TRACT OF LAND LOCATED IN THE NORTHEAST ¼ OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M. DESCRIBED AS FOLLOWS:
BEGINNING AT THE EAST ¼ CORNER OF SAID SECTION 8;
THENCE NORTH 89°41'04" WEST A DISTANCE OF 517.74 FEET ALONG THE SOUTH LINE OF SAID NORTHEAST ¼ OF SAID SECTION 8;
THENCE NORTH 001°56' EAST, 30.11 FEET TO THE TRUE POINT OF BEGINNING;
THENCE NORTH 001°56' EAST A DISTANCE OF 242.06 FEET;
THENCE ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 330.00 FEET A LENGTH OF 95.81 FEET AND THE CHORD BEARS NORTH 04°52'17" EAST A DISTANCE OF 55.74 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SHORT STREET;
THENCE SOUTH 89°58'10" EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF SHORT STREET A DISTANCE OF 394.17 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET;
THENCE NORTH 39°59'09" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET A DISTANCE OF 422.70 FEET;
THENCE NORTH 34°52'37" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET A DISTANCE OF 88.70 FEET TO THE SOUTHEAST CORNER OF LOT 4, BLOCK B OF THE INDUSTRIAL AREA SUBDIVISION;
THENCE NORTH 90°00'00" EAST A DISTANCE OF 5.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CANNON STREET;
THENCE NORTH 00°00'00" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF CANNON STREET A DISTANCE OF 598.13 FEET;
THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 15.00 FEET A LENGTH OF 23.57 FEET AND THE CHORD BEARS NORTH 45°00'41" WEST A DISTANCE OF 21.22 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF GRIFFIN STREET;
THENCE SOUTH 89°58'39" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF GRIFFIN STREET A DISTANCE OF 423.30 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF NORTH FRONT STREET;
THENCE SOUTH 89°58'39" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NORTH FRONT STREET A DISTANCE OF 452.92 FEET;
THENCE NORTH 81°48'21" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NORTH FRONT STREET A DISTANCE OF 40.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET;
THENCE SOUTH 52°00'00" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET A DISTANCE OF 353.30 FEET;
THENCE SOUTH 00°00'00" WEST, A DISTANCE OF 29.68 FEET TO THE SOUTHEAST CORNER OF LOT 1, BLOCK C OF THE INDUSTRIAL AREA SUBDIVISION;
THENCE SOUTH 89°56'30" WEST ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK C OF THE INDUSTRIAL AREA SUBDIVISION A DISTANCE OF 293.22 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF THE COLORADO AND SOUTHERN RAILROAD;
THENCE SOUTH 81°10'00" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE COLORADO AND SOUTHERN RAILROAD A DISTANCE OF 723.88 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTH STREET;
THENCE SOUTH 89°41'04" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE OF SOUTH STREET A DISTANCE OF 163.60 FEET TO THE TRUE POINT OF BEGINNING.

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
AREA = 10.69 ACRES

NOTES

- BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE ASSUMPTION THAT THE EASTERLY RIGHT-OF-WAY LINE OF THE BURLINGTON NORTHERN SANTA FE (BNSF) RAILROAD BEARS NORTH 08 DEGREES, 11 MINUTES AND 00 SECONDS WEST BETWEEN A FOUND NO. 4 BEAR AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTH STREET AND THE EASTERLY RIGHT-OF-WAY LINE OF SAID BNSF RAILROAD AND A FOUND NO. 5 BEAR WITH YELLOW PLASTIC CAP STAMPED FPP & ASSOCIATES, LS 14815 AT THE NORTHWESTERLY CORNER OF LOT 2, BLOCK C, INDUSTRIAL AREA.
- SURVEY INFORMATION SHOWN HEREON AS PROVIDED BY ROCK CREEK SURVEYING, LLC DATED NOVEMBER 27, 2012.
- PROPOSED VEHICULAR CONNECTIONS MAY BE REFINED, WITH FUTURE CONSTRUCTION PLAN SUBMITTALS.
- ACCESS IS GRANTED HERETHWITH OVER AND ACROSS ALL PAVED AREAS FOR EMERGENCY, PUBLIC AND PRIVATE VEHICULAR ACCESS.
- THE CITY OF LOUISVILLE IS GRANTED A 4 FOOT MAINTENANCE ACCESS EASEMENT BEYOND RIGHT OF WAY FOR THE MAINTENANCE OF CURB & SIDEWALK, MINIMUM SURFACE DISTURBANCE IS ALLOWED WITHIN THIS EASEMENT.
- DISTANCES SHOWN HEREON ARE BASED UPON THE U.S. SURVEY FOOT.
- EXISTING ENCUMBRANCES AND USES ARE NOTED ON THE DRAWINGS AND ARE NOT SUCCEEDING BY THE LAND USE SUMMARY TABLE.
- PUBLIC WET UTILITIES LOCATED ON PRIVATE PROPERTY SHALL BE WITHIN A CITY EXCLUSIVE UTILITY EASEMENT (C.U.E.).
- THE CITY OF LOUISVILLE IS GRANTED A 10' MAINTENANCE ACCESS EASEMENT BEYOND THE EXCLUSIVE UTILITY EASEMENTS GRANTED TO THE CITY BY THIS PLAT, THE 10' MAINTENANCE ACCESS EASEMENT SHALL BE ALLOWED ON EITHER SIDE OF THE UTILITY EASEMENT, OR 5' ON EACH SIDE OF THE UTILITY EASEMENT. MINIMUM SURFACE DISTURBANCE IS ALLOWED WITHIN THIS EASEMENT.
- EXCLUSIVE CITY UTILITY EASEMENTS ARE RESERVED FOR CITY OF LOUISVILLE EXCLUSIVE USE FOR CITY WATER, SANITARY SEWER AND STORM SEWER FACILITIES. DRY UTILITIES COMPANIES AND/OR PRIVATE OWNERS OF STORM DRAINAGE AND IRRIGATION LINES MUST OBTAIN PRIOR WRITTEN APPROVAL FROM THE CITY FOR ANY PROPOSED CROSSING OF ANY CITY WET UTILITY EASEMENTS AND MUST EXECUTE AN AGREEMENT WHICH STIPULATES THE DRY UTILITIES, STORM DRAINAGE, AND/OR IRRIGATION LINES APPROVED TO CROSS CITY EASEMENTS ARE SUBJECT TO RELOCATION AT THE COMPANY'S OR OWNER'S EXPENSE AT THE DIRECTION OF THE CITY. DRY UTILITIES, STORM DRAINAGE, AND/OR IRRIGATION LINES THAT ARE APPROVED TO CROSS CITY EASEMENTS SHALL DO SO AT SUBSTANTIALLY RIGHT ANGLES. WET UTILITIES MAY TRAVERSE DRY UTILITY EASEMENTS WITHOUT REQUIREMENT FOR FURTHER PERMISSION. NO JOINT USE OF ANY CITY EXCLUSIVE UTILITY EASEMENTS IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE CITY AND EXECUTION OF A JOINT USE AGREEMENT, WHICH SHALL BE AT THE CITY'S DISCRETION.
- THE CITY OF LOUISVILLE SHALL REVIEW AND APPROVE THE LOCATIONS OF UTILITY LINES, PEDESTALS AND CABINETS WITHIN PUBLIC PROPERTY AND EXCLUSIVE CITY UTILITY EASEMENTS.
- EMERGENCY ACCESS IS GRANTED OVER ALL PAVED SURFACES.
- CANNON STREET RIGHT OF WAY SHALL BE DEDICATED VIA THE FINAL DELO SUBDIVISION REPLAT NO. 1 OR SHALL BE OBTAINED VIA SEPARATE INSTRUMENT TO ENSURE THE REQUIRED IMPROVEMENT TIMING TO SUPPORT THE DELO PHASE 2 DEVELOPMENT.



LAND USE SUMMARY

TRACT	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE ¹	PRIMARY USES
A	2.39	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Emergency and Public Access, Parking, Drainage, Exclusive City Utility Easements and Dry Utility Easements
B	0.45	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Emergency and Public Access, Lot 7 Industrial Area Subdivision Access, Private Parking, Drainage, Exclusive City Utility Easements and Dry Utility Easements
C	0.09	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Parking, Drainage, Wet and Dry Utility Easements, Monumentation
D	0.03	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Pedestrian Access, Drainage, and Private Utility Easement
E	0.04	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Pedestrian Access, Drainage, Private Utility, and Emergency and Public Access
F	0.15	DELO Townhome H.O.A.	DELO Townhome H.O.A.	Leopard Lane (Private), Emergency and Public Access and Exclusive City Utility Easements
G	0.45	DELO Townhome H.O.A.	DELO Townhome H.O.A.	Private Greenway, Public Pedestrian Access, Exclusive City Utility Easements and Dry Utility Easements
OUTLOT				
A	0.22	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Caledonia Plaza, Pedestrian Access, Monumentation and Public Events, Private Utility Easements
B	0.06	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Nawatty Greenway, Pedestrian Access, Exclusive City Utility Easement, Dry Utility Easements and Monumentation
C	0.20	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Nawatty Greenway, Pedestrian Access, Exclusive City Utility Easement, Private Utility Easement and Monumentation

¹ Refer to Subdivision Agreement for definition of maintenance responsibilities.

PREVIOUSLY PLATTED EAST LAFAYETTE STREET CITY OF LOUISVILLE RIGHT-OF-WAY

TRACT	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE
Nawatty Greenway (ROW)	0.42	City of Louisville	City of Louisville	Public Park, Pedestrian Access, Drainage and Wet and Dry Utilities
Tract B	0.45	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Emergency and Public Access, Lot 7 Industrial Area Subdivision Access, Private Parking, Drainage, Exclusive City Utility Easements and Dry Utility Easements
Portion of Tract F	0.04	DELO Townhome H.O.A.	DELO Townhome H.O.A.	Leopard Lane (Private), Emergency and Public Access and Exclusive City Utility Easements
Portion of Block 9	0.06	Takoda Properties Inc.	Takoda Properties Inc.	Book 9

PROPOSED CITY OF LOUISVILLE RIGHT-OF-WAY

ROW	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE
Cannon Street	0.51	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Drainage and Wet and Dry Utilities

¹ Refer to Subdivision Agreement for definition of maintenance responsibilities.

PLANNING COMMISSION CERTIFICATE:

RECOMMENDED APPROVAL THIS _____ DAY OF _____, 20____
BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

CITY COUNCIL CERTIFICATE:

APPROVED THIS _____ DAY OF _____, 20____
BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

MAYOR: _____ CITY CLERK: _____

CLERK AND RECORDERS CERTIFICATE:

STATE OF COLORADO)
COUNTY OF BOULDER) SS

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____

O'CLOCK AT _____ M, ON THIS _____ DAY OF _____, 20____

AND IS RECORDED IN PLAN FILE _____ FEE _____

PAD: _____ FILM NO. _____

RECEPTION NO. _____

RECORDER: _____ DEPUTY: _____

OWNERSHIP CERTIFICATE:

OWNER: TAKODA PROPERTIES, INC. A COLORADO CORPORATION
BY: _____
JUSTIN McCLURE, VICE-PRESIDENT

DATE: _____

ACKNOWLEDGEMENT:

STATE OF COLORADO)
COUNTY OF BOULDER) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____

WITNESS MY HAND AND SEAL.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

OWNERSHIP CERTIFICATE:

OWNER: CITY OF LOUISVILLE
BY: _____

DATE: _____

ACKNOWLEDGEMENT:

STATE OF COLORADO)
COUNTY OF BOULDER) SS

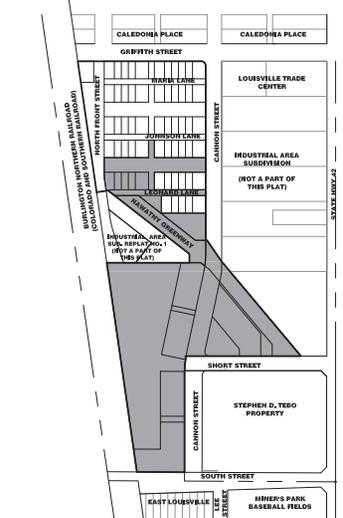
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____ BY _____

WITNESS MY HAND AND SEAL.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

PARCELS INCLUDED IN THIS REPLAT



SURVEYOR'S CERTIFICATE:

I, ROBERT A. RICKARD, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THE SUBDIVISION PLAT OF DELO SUBDIVISION REPLAT NO. 1 TRULY REPRESENTS THE RESULTS OF A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION WAS DONE IN ACCORDANCE WITH APPLICABLE STATE OF COLORADO REQUIREMENTS FOR LAND SURVEYORS.

ROBERT A. RICKARD, PLS NO. 28283 DATE _____
FOR AND ON BEHALF OF
ROCK CREEK SURVEYING, LLC

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

SHEET INDEX	
NUMBER	TITLE
1	COVER SHEET
2	FINAL PLAT
3	FINAL PLAT

LAND USE SUMMARY - INDUSTRIAL AREA SUBDIVISION REPLAT NO. 1

TRACT	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE ¹	USE
Tract A	0.22	Takoda Properties Inc.	Takoda Properties Inc.	Private Roadway, Public Access Easement, Exclusive City Utility Easement, Private Utility Easements and Dry Utility Easement
Tract B	0.01	Takoda Properties Inc.	Takoda Properties Inc.	Leopard Lane (Private), Emergency and Public Access and Exclusive City Utility Easements
Lot 1	0.29	Comcast Cablevision of Colorado II, LLC	Comcast Cablevision of Colorado II, LLC	Private Lot for Existing Comcast Building and Private Parking Lot
Outlot 1	0.49	City of Louisville	City of Louisville / DELO Commercial H.O.A. ¹	Nawatty Greenway, Pedestrian Access, Exclusive City Utility Easement, Comcast Private Water and Sanitary Sewer Service Line Easements and Private Storm Sewer Easement

¹ Refer to Subdivision Agreement for definition of maintenance responsibilities.

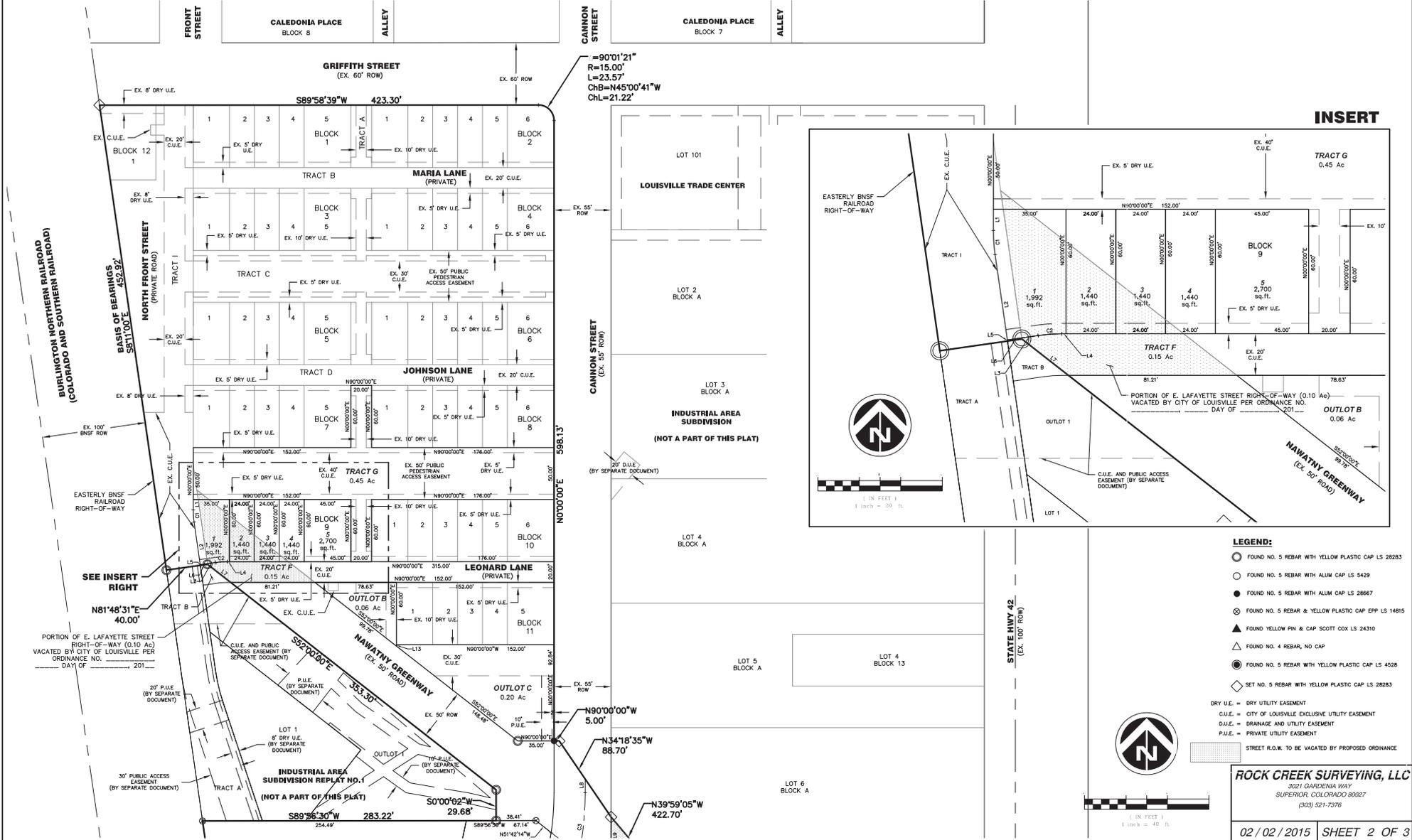
ROCK CREEK SURVEYING, LLC
3021 GARDENIA WAY
SUPERIOR, COLORADO 80027
(303) 521-7376

02/02/2015 SHEET 1 OF 3

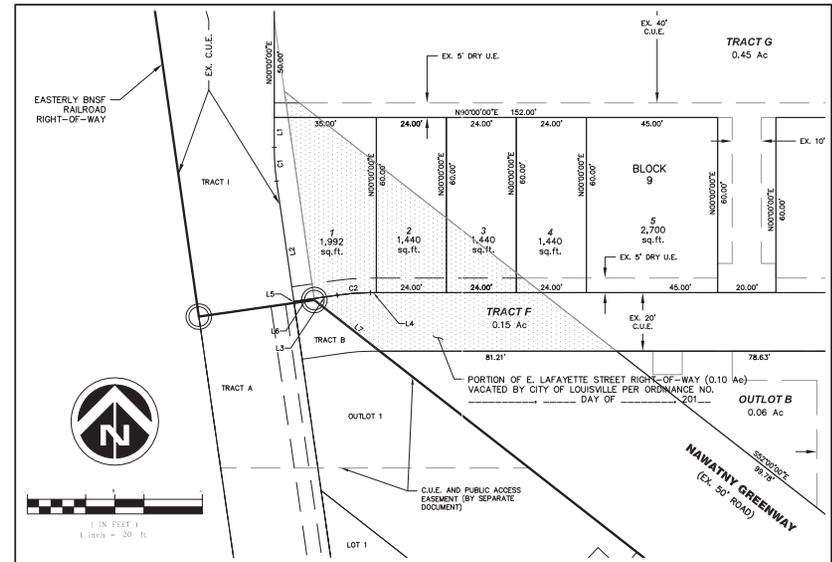
DELO SUBDIVISION - REPLAT NO. 1

A REPLAT OF LOT 1 BLOCK 9, LOT 1 BLOCK 13 AND TRACTS E, F, G, H, AND J OF DELO SUBDIVISION
PART OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH
PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

SHEET 2 OF 3



INSERT



- LEGEND:**
- FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP LS 28283
 - FOUND NO. 5 REBAR WITH ALUM CAP LS 5429
 - FOUND NO. 5 REBAR WITH ALUM CAP LS 28667
 - ⊗ FOUND NO. 5 REBAR & YELLOW PLASTIC CAP EPF LS 14815
 - ▲ FOUND YELLOW PIN & CAP SCOTT COX LS 24310
 - △ FOUND NO. 4 REBAR, NO CAP
 - FOUND NO. 5 REBAR WITH YELLOW PLASTIC CAP LS 4528
 - ◇ SET NO. 5 REBAR WITH YELLOW PLASTIC CAP LS 28283
- DRY U.E. = DRY UTILITY EASEMENT
 C.U.E. = CITY OF LOUISVILLE EXCLUSIVE UTILITY EASEMENT
 D.U.E. = DRAINAGE AND UTILITY EASEMENT
 P.U.E. = PRIVATE UTILITY EASEMENT
 STREET R.O.W. TO BE VACATED BY PROPOSED ORDINANCE

ROCK CREEK SURVEYING, LLC
3021 GARDENIA WAY
SUPERIOR, COLORADO 80027
(303) 521-7376

02/02/2015 SHEET 2 OF 3

Final Planned Unit Development Phase 2

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



SHEET INDEX

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- 9.....Detailed Landscape Plan
- 10.....Emergency Vehicle Access Plan
- 11.....Turning Movement Details
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CITY COUNCIL SIGNATURE BLOCK

APPROVED THIS ____ DAY OF _____, 201____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

MAYOR _____ CITY CLERK _____

PLANNING COMMISSION CERTIFICATION

RECOMMENDED APPROVAL THIS ____ DAY OF _____, 201____ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. _____, SERIES _____

CHAIRMAN _____

CLERK & RECORDER CERTIFICATE - COUNTY OF BOULDER, STATE OF COLORADO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK, _____M., THIS DAY OF _____, PAID _____ OF 201____, AND IS RECORDED IN PLAN FILE _____, RECEPTION FEE _____

RECORD _____ DEPUTY _____

OWNERSHIP SIGNATURE BLOCK

BY SIGNING THIS FDP/PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH BY THIS FDP/PUD. WITNESS OUR HANDS AND SEALS THIS ____ DAY OF _____, 201____

OWNER - TAKODA PROPERTIES, INC, A COLORADO CORPORATION,
JUSTIN McCLURE, VICE PRESIDENT

NOTARY _____ (NOTARY SEAL)

Louisville, Colorado



owner's rep
RMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3820

planning & la
people creating spaces
pcs.group, inc.
1001 18th Street, 3B-180
Denver, Co 80265
tel (303) 531-4905
www.pcsgroupco.com

engineering
ENGINEERING CONSULTANTS
Contact: Jason D. Mangani, PE
11101 W. 120th Avenue, Ste 240
Broomfield CO 80021
phone: (720) 975-0177
fax: (720) 460-4906

architecture
3003 Leimner Street
Denver, CO 80201
Phone: (303) 861-5704
Fax: (303) 861-9230
www.osarch.com
architecture
kgastudio architects
950 Spruce Street, Ste 2D
Louisville, CO 80027
ph:(303) 442-5882 fc:(303) 442-5888
www.kgarch.com

electrical
GIVEN
735 S. Xenon Court, Ste. 201
Lakewood, CO 80228
Phone: (303) 716-1270
Fax: (303) 716-1272



Final Planned Unit Development Phase 2

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

LEGAL DESCRIPTION DELO SUBDIVISION

DOWNTOWN EAST LOUISVILLE (DELO):

A TRACT OF LAND LOCATED IN THE NORTHEAST ¼ OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS:
 BEGINNING AT THE EAST ¼ CORNER OF SAID SECTION 8;
 THENCE NORTH 89°45'04" EAST, A DISTANCE OF 517.74 FEET ALONG THE SOUTH LINE OF SAID NORTHEAST ¼ OF SAID SECTION 8;
 THENCE NORTH 00°15'56" EAST, 30.11 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE NORTH 00°15'35" EAST A DISTANCE OF 342.08 FEET;
 THENCE ALONG A CURVE, TO THE RIGHT WITH A RADIUS OF 3300.00 FEET A LENGTH OF 55.81 FEET AND THE CHORD BEARS NORTH 04°50'17" EAST A DISTANCE OF 55.74 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SHORT STREET;
 THENCE SOUTH 89°51'07" EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF SHORT STREET A DISTANCE OF 394.17 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET;
 THENCE NORTH 39°59'07" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET A DISTANCE OF 422.70 FEET;
 THENCE NORTH 00°00'00" WEST A DISTANCE OF 5.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF CANNON STREET;
 THENCE NORTH 00°00'00" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF CANNON STREET A DISTANCE OF 598.13 FEET;
 THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 15.00 FEET A LENGTH OF 23.57 FEET AND THE CHORD BEARS NORTH 45°00'00" WEST A DISTANCE OF 21.22 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF GRIFFITH STREET;
 THENCE SOUTH 89°58'50" WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF GRIFFITH STREET A DISTANCE OF 423.30 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF NORTH FRONT STREET;
 THENCE SOUTH 81°10'07" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF NORTH FRONT STREET A DISTANCE OF 452.92 FEET;
 THENCE NORTH 81°48'31" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF NORTH FRONT STREET A DISTANCE OF 40.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET;
 THENCE SOUTH 52°00'00" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF EAST LAFAYETTE STREET A DISTANCE OF 353.30 FEET;
 THENCE SOUTH 00°00'00" WEST, A DISTANCE OF 29.68 FEET TO THE SOUTHWEST CORNER OF LOT 1, BLOCK C OF THE INDUSTRIAL AREA SUBDIVISION;
 THENCE SOUTH 89°56'30" WEST ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK C OF THE INDUSTRIAL AREA SUBDIVISION A DISTANCE OF 283.22 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF THE COLORADO AND SOUTHERN RAILROAD;
 THENCE SOUTH 81°10'07" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF THE COLORADO AND SOUTHERN RAILROAD A DISTANCE OF 723.88 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SOUTH STREET;
 THENCE SOUTH 88°41'04" EAST ALONG SAID NORTH RIGHT-OF-WAY LINE OF SOUTH STREET A DISTANCE OF 10.69 FEET TO THE TRUE POINT OF BEGINNING.

CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
 AREA = 10.69 ACRES

NOTES

1. SURVEY BY ROCK CREEK SURVEYING, DATED NOVEMBER 27, 2012.
2. PROPOSED VEHICULAR CONNECTIONS MAY BE REFINED, WITH FUTURE CONSTRUCTION PLAN SUBMITTALS.
3. TIMING AND PHASING OF DEVELOPMENT SHALL BE DEPENDENT UPON MARKET CONDITIONS AND LOCATION OF UTILITIES.

PROJECT DESCRIPTION

PLATTED AREA:	110.74 AC.
TOTAL GROSS PROJECT AREA:	114.18 AC.
EXISTING PHASE 1:	5.79 AC.
PHASE 2:	7.38 AC.
WHERE:	5.30 AC.
CANNON ST. ROW:	0.94 AC.
E. LAFAYETTE LANE (TRACT B):	0.45 AC.
SOUTH ST. ROW:	0.13 AC.
SHORT ST. ROW:	0.56 AC.
COMCAST PARCEL:	0.29 AC.

EXCESS DEDICATED PUBLIC LAND PROVIDED:	0.97 AC. (4.8% OF GROSS PROJECT AREA)
OUTLOT A:	0.22 AC.
OUTLOT B:	0.06 AC.
OUTLOT C:	0.30 AC.
OUTLOT 1:	0.49 AC.
(FROM INDUSTRIAL AREA SUBDIVISION REPLAT NO. 1)	

CURRENT ZONING: MIXED USE RESIDENTIAL (MU-R)

PROPOSED ZONING: MIXED USE RESIDENTIAL (MU-R)

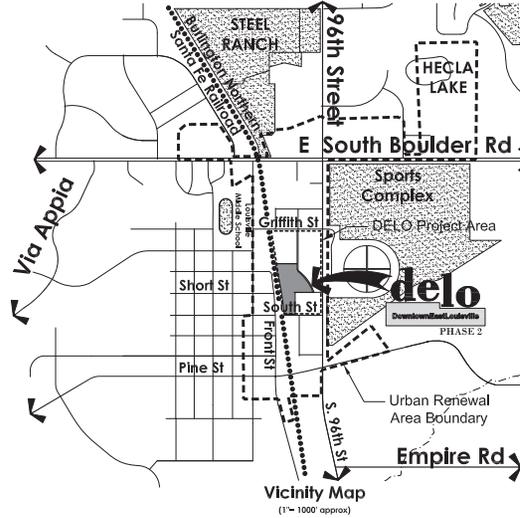
MAX. NUMBER OF APPROVED RESIDENTIAL UNITS: 190 DU (PHASES 1, 1A & 2)

PHASE 2 ACCESS:
 CANNON STREET (VIA GRIFFITH STREET & SOUTH STREET)
 NORTH FRONT STREET (VIA GRIFFITH STREET)
 SHORT STREET (VIA STATE HIGHWAY 42)

LAND USE SUMMARY - INDUSTRIAL AREA SUBDIVISION REPLAT NO. 1

TRACT	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE ¹	USE
Tract A	0.22	Takoda Properties Inc.	Takoda Properties Inc.	Private Roadway, Public Access Easement, Exclusive City Utility Easement, Private Utility Easement
Tract B	0.01	Takoda Properties Inc.	Takoda Properties Inc.	Leonard Lane (Private), Emergency and Public Access and Exclusive City Utility Easements
Lot 1	0.29	Comcast Cablevision of Colorado II, LLC	Comcast Cablevision of Colorado II, LLC	Private Lot for Existing Comcast Building and Private Parking Lot
Outlot 1	0.49	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Nativity Greenway, Pedestrian Access, Exclusive City Utility Easement, Comcast Private Water and Sanitary Sewer Service Line Easements and Private Storm Sewer Easement

¹ Refer to Subdivision Agreement for delineation of maintenance responsibilities.



LAND USE SUMMARY

TRACT	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE ¹	PRIMARY USES
A	2.39	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Emergency and Public Access, Parking, Drainage, Exclusive City Utility Easements and Dry Utility Easements
B	0.45	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Emergency and Public Access, Lot 1 Industrial Area Subdivision Access, Private Parking, Drainage, Exclusive City Utility Easements and Dry Utility Easements
C	0.09	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Parking, Drainage, Wet and Dry Utility Easements, Monumentation
D	0.03	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Pedestrian Access, Drainage, and Private Utility Easement
E	0.04	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Pedestrian Access, Drainage, Private Utility and Emergency City Utility Easements
F	0.15	DELO Townhome H.O.A.	DELO Townhome H.O.A.	Leonard Lane (Private), Emergency and Public Access and Exclusive City Utility Easements
G	0.45	DELO Townhome H.O.A.	DELO Townhome H.O.A.	Private Greenway, Public Pedestrian Access, Exclusive City Utility Easements and Dry Utility Easements
OUTLOT				
A	0.22	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Caledonia Plaza, Pedestrian Access, Monumentation and Public Events, Private Utility Easements
B	0.06	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Nativity Greenway, Pedestrian Access, Exclusive City Utility Easement, Dry Utility Easements and Monumentation
C	0.20	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Nativity Greenway, Pedestrian Access, Exclusive City Utility Easement, Private Utility Easement and Monumentation

¹ Refer to Subdivision Agreement for delineation of maintenance responsibilities.

PREVIOUSLY PLATTED EAST LAFAYETTE STREET CITY OF LOUISVILLE RIGHT-OF-WAY

TRACT	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE
Nativity Greenway (ROW)	0.42	City of Louisville	City of Louisville	Public Park, Pedestrian Access, Drainage and Wet and Dry Utilities
Tract B	0.45	DELO Commercial H.O.A.	DELO Commercial H.O.A.	Private Roadway, Pedestrian Access, Emergency and Public Access, Lot 1 Industrial Area Subdivision Access, Private Parking, Drainage, Exclusive City Utility Easements and Dry Utility Easements
Portion of Tract F	0.04	DELO Townhome H.O.A.	DELO Townhome H.O.A.	Leonard Lane (Private), Emergency and Public Access and Exclusive City Utility Easements
Portion of Block 9	0.06	Takoda Properties Inc.	Takoda Properties Inc.	Block 9

PROPOSED CITY OF LOUISVILLE RIGHT-OF-WAY

ROW	TOTAL AREA (ACRES)	OWNERSHIP	MAINTENANCE	USE
Cannon Street	0.51	City of Louisville	City of Louisville / DELO Commercial H.O.A.	Public Roadway, Pedestrian Access, Drainage and Wet and Dry Utilities

¹ Refer to Subdivision Agreement for delineation of maintenance responsibilities.



scale



north

sheet title

Project Introduction

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD

checked by: JDM project #: 030017

planning & la

people creating spaces
 pcs group, inc.
 1001 16th street, 3B-180
 Denver, CO 80245
 tel (303) 531-4705
 www.pcsgruppco.com

owner's rep

RMCS
 21 South Sunset Street
 Longmont, CO 80503
 Phone: 720.524.3620

engineering

ENGINEERING CONSULTANTS
 Contact: Jason D. Margart, PE
 11101 W. 120th Ave, Ste 240
 Broomfield, CO 80021
 ph:(303) 368-5601
 fx: (303) 368-5603

architecture

OZ ARCHITECTURE
 3003 Larimer Street
 Denver, CO 80205
 ph:(303) 861-5704
 WWW.OZarch.com

sheet

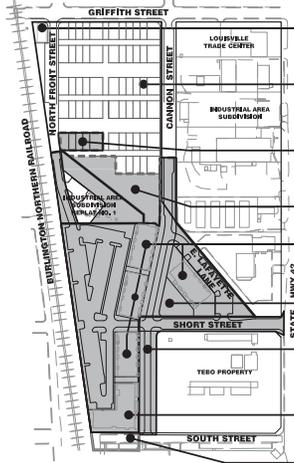
2 of 34

de lo Final Planned Unit Development Phase 2

Downtown East Louisville

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

PRODUCT TYPE KEYMAP (1" = 200')



- PHASE 1 - RELOCATED HISTORIC OFFICE/COMMERCIAL
- PHASE 1 - MULTI-UNIT DWELLING (TOWNHOMES AND MEWS)
- PHASE 2 - MULTI-UNIT DWELLING (TOWNHOMES)
- PHASE 2 - CIVIC (NAWATY GREENWAY)
- PHASE 2- MULTI-UNIT DWELLING (APARTMENTS / CONDOMINIUMS)
- PHASE 2 - CIVIC (CALEDONIA PLAZA)
- PHASE 2 - CIVIC (CANNON ST. WOONER)
- PHASE 2- OFFICE, COMMERCIAL, AND EATING & DRINKING CIVIC (SOUTH STREET PEDESTRIAN PLAZA)

BULK & DIMENSION STANDARDS (PHASE 2)

	MULTIUNIT DWELLING TOWNHOMES	MULTIUNIT DWELLING APARTMENTS, CONDOMINIUMS	OFFICE/COMMERCIAL
PERMITTED DENSITY	12 DU/AC MIN 20 DU/AC MAX		
MIN. LOT WIDTH	40' ³	40'	40'
MIN. LOT COVERAGE	40%	40%	40%
MIN. LANDSCAPE COVERAGE	10%	10%	10%
MAX. FOOTPRINT	10,000 SF	15,000 SF	15,000 SF
MAX. LENGTH ALONG STREET	200'	200'	200'
MIN. % STREET FRONTAGE	70%	70%	70%
STREET SECTIONS	SHARED SPACES/WALKABLE ¹		

BUILDING SETBACKS			
MIN. & MAX. PUBLIC STREET ^{1, 2} OUTLOT/BACK SETBACK (PRINCIPAL USES)	MAXIMUM: 10' MINIMUM: 0'	MAXIMUM: 10' MINIMUM: 0'	MAXIMUM: 10' ³ MINIMUM: 0'
MIN. SIDE YARD SETBACK ^{1, 2} (PRINCIPAL & ACCESSORY USES)	0'	0'	0'
MIN. REAR YARD SETBACK ¹ (PRINCIPAL USES)	5'	20' ²	20' ²
MIN. REAR YARD SETBACK ² (ACCESSORY USES)	5' (LANE)	0'	0'

BUILDING HEIGHT			
PRINCIPAL USES	MIN: 2 STORES/35' MAX: 3 STORES/45'	MIN: 2 STORES/35' MAX: 3 STORES/45'	MIN: 1 STORY/16' MAX: 2 STORES/45'
ACCESSORY USES ²	20' MAX	20' MAX	20' MAX

- ¹ SEE SINGLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.
- ² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES, SHEET 3.
- ³ SHALL BE SUBJECT TO MUDDSG. SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.
- ⁴ ROOFING, OVERHANGING PATIOS, DECKS, PORCHES AND BALCONIES MAY EXTEND INTO THE ADJACENT TRACTS A, C, D & E. SETBACKS SHALL BE MEASURED FROM THE BUILDING FACE AND NOT THE ABOVE MENTIONED EXTENSIONS.
- ⁵ THE PLATTED BLOCK LENGTH SHALL NOT BE LESS THAN 40'. TOWNHOME SHALL BE ALLOWED TO PLAT FEW SINGLE LOTS FOR INDIVIDUAL UNITS, WITH A 24' MINIMUM WIDTH.
- ⁶ TO BE ADMINISTERED SOLELY AS A FRONT SETBACK.
- ⁷ REAR SETBACK SHALL BE MEASURED FROM PROPERTY LINES, NOT TRACT OR OUTLOT BOUNDARIES.
- ⁸ ALLOWED PER VARIANCE REQUEST.

USE CHART

PHASE	PRINCIPAL ¹ USE GROUP	USES ²	LOCATION
PHASE 2	RESIDENTIAL	MULTIUNIT DWELLING TOWNHOMES	BLOCK 9
	RESIDENTIAL	MULTIUNIT DWELLING APARTMENTS, CONDOMINIUMS	BLOCK 13, LOTS 1, 2 & 3 & BLOCK 14, LOT 1
OFFICE	PROFESSIONAL AND BUSINESS OFFICES		BLOCK 13, LOTS 1, 2 & 3 & BLOCK 14, LOT 1
	COMMERCIAL	PERSONAL SERVICES	
COMMERCIAL	RETAIL CONVENIENCE GOODS		BLOCK 13, LOTS 4 & 5
	INDOOR EATING AND DRINKING ESTABLISHMENTS		
	TEMPORARY SPECIAL EVENTS		
CIVIC	PUBLIC SQUARES, PLAZAS, GREENWAYS AND COMMUNITY AMENITIES		SEE KEYMAP

- ¹ THE ANTICIPATED PRINCIPAL USES EXCEEDS THE MINIMUM REQUIREMENTS OF TWO USES AND PROVIDES A PUBLIC BENEFIT.
- ² ALL USES PER TABLE 'C' OF SECTION 17.14.055(A) ARE ALLOWED, WHICH MAY FURTHER DIVERSIFY THE RANGE OF USES WITHIN THE PROJECT.

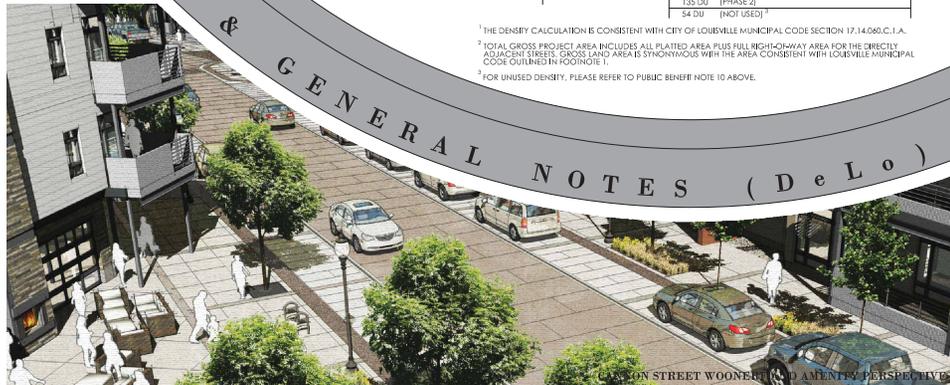
DENSITY SUMMARY

TOTAL GROSS PROJECT AREA:	214.18 AC. ²		
GROSS LAND AREA ⁴ :	212.26 AC.		
		UNITS	ANTICIPATED ¹ DENSITY
TOTAL:		244 DU (PRELIMINARY PUD, AS APPROVED BY COUNCIL)	15.50 DU/ACRE
		33 DU (PHASE 1 AND PHASE 1A)	
		133 DU (PHASE 2)	
		34 DU (NOT USED) ³	

- ¹ THE DENSITY CALCULATION IS CONSISTENT WITH CITY OF LOUISVILLE MUNICIPAL CODE SECTION 17.14.060.C.1.A.
- ² TOTAL GROSS PROJECT AREA INCLUDES ALL PLATTED AREA PLUS FULL RIGHT-OF-WAY AREA FOR THE DIRECTLY ADJACENT CURVES, GRASSES AND AREAS STATIONARY WITH THE AREA CONSISTENT WITH LOUISVILLE MUNICIPAL CODE OUTLINED IN FOOTNOTE 1.
- ³ FOR UNUSED DENSITY, PLEASE REFER TO PUBLIC BENEFIT NOTE 10 ABOVE.

GENERAL NOTES AND STANDARDS

1. DELO IS A MASTER PLANNED DEVELOPMENT AND CONSISTS OF MULTIPLE PHASES. THE SECOND PHASE (PHASE 2) IS COMPOSED OF THREE SEPARATE AND DISTINCT PRODUCT TYPES: MULTI-UNIT DWELLING TOWNHOMES, MULTI-UNIT DWELLING APARTMENTS, CONDOMINIUMS, COMMERCIAL/OFFICE SPACE, AND EATING & DRINKING ESTABLISHMENTS.
2. ANY AND ALL TRACTS, AS DEPICTED ON SHEETS 4, 5 & 8 AND GENERATED VIA THE DELO SUBDIVISION - REPLAT NO. 1, SHALL BE MAINTAINED BY THE HOA. THE DEVELOPER MAY CONDUCT ACTIVITIES INCLUDING BUT NOT LIMITED TO GRADING ON ALL DEDICATED LANDS FOR THE PURPOSE OF CONSTRUCTING PUBLIC AND PRIVATE IMPROVEMENTS.
3. ENTRY MONUMENTS, PROJECT IDENTITY AND WAY-FINDING SIGNAGE ARE CONCEPTUAL IN NATURE AT THE LOCATIONS SHOWN WITHIN THIS DEVELOPMENT PLAN. FINAL LOCATIONS SHALL BE DETERMINED DURING THE CONSTRUCTION DOCUMENTATION PROCESS, BUT SHALL CONFORM TO THE STANDARDS WITHIN THIS DEVELOPMENT PLAN.
4. THE HISTORIC HOME, PREVIOUSLY LOCATED AT 1004 GRIFFITH STREET, WAS RELOCATED TO LOT 1, BLOCK 12 AND REPURPOSED FOR OFFICE OR COMMERCIAL USE AS A PORTION OF DELO PHASE 1/1A. THERE ARE NO HISTORIC STRUCTURES WITHIN DELO PHASE 2.
5. ACCESSIBLE SIDEWALKS AND PEDESTRIAN WAYS SHALL BE PROVIDED THAT MEET ADA STANDARDS FOR RUNNING SCOUR AND CROSS SCOUR.
6. IN ADDITION TO ALL USES ALLOWED BY THE MHAF DESIGNATION, THE FOLLOWING USES SHALL BE EXPRESSLY ALLOWED AND CONSIDERED ACCESSORY STRUCTURES: DEVELOPMENT AMENITIES SUCH AS PLAZAS, PATIOS AND GARDENS AND FREE STANDING GARAGES, CARPORTS, PARKING STRUCTURES AND TRASH ENCLOSURES.
7. AMENITY/RECREATION STRUCTURES, IF ANY, ARE NOT INCLUDED IN DENSITY CALCULATIONS, HOWEVER, THEY MAY BE INCLUDED IN LOT COVERAGE CALCULATIONS. SUCH STRUCTURES ARE SUBJECT TO BULK AND DIMENSION STANDARDS SPECIFIC FOR ACCESSORY STRUCTURES AS DESCRIBED IN THIS DEVELOPMENT PLAN.
8. PARKING STRUCTURES, CARPORTS, AND PARKING GARAGES, WHETHER ATTACHED TO DWELLING UNITS OR DETACHED, SHALL BE APPROVED AS ACCESSORY STRUCTURES AND USES NECESSARY AND OUTSTANDING INCIDENTAL TO THE RESIDENTIAL USE. SUBJECT TO BULK AND DIMENSION STANDARDS AS DESCRIBED IN THE DEVELOPMENT PLAN, PARKING STRUCTURES, GARAGES AND SIMILAR STRUCTURES SHALL BE INCLUDED IN DENSITY CALCULATIONS. HOWEVER, ARE INCLUDED IN LOT COVERAGE CALCULATIONS. FURTHERMORE, IT IS UNDERSTOOD THAT TRUCK SPACES ARE NOT PERMITTED ON OR ABOVE DETACHED GARAGES, OR AS AN ACCESSORY USE.
9. NO RESTRICTIONS ARE IMPOSED WITH REGARD TO PROJECT PHASING OTHER THAN AS EXPRESSLY SET FORTH IN THIS DEVELOPMENT PLAN OR BY ANY DEVELOPMENT AGREEMENT BETWEEN THE OWNER AND THE CITY.
10. THE GROUND FLOOR PROGRAM MAY BE RESIDENTIAL AND/OR COMMERCIAL, AND SHALL BE INTERCHANGEABLE. PROVIDED THAT THE TOTAL NUMBER OF DWELLING UNITS DOES NOT EXCEED THE MAXIMUM NUMBER OF DWELLING UNITS DESCRIBED HEREIN.
11. MULTI-UNIT DWELLING APARTMENTS SHALL BE ALLOWED TO TRANSFER TO CONDOMINIUMS, AT THE SOLE DISCRETION OF THE DEVELOPER, WITHOUT ADDITIONAL REQUIREMENTS.
12. THE CANNON STREET 'WOONER' SECTION MAY BE ADJUSTED TO AN ALTERNATIVE SHARED SPACES/WALKABLE SECTION OR RECONFIGURED BASED ON MARKET CONSTRAINTS, FUNDING, RIGHT-OF-WAY OR CIRCULARITY LIMITATIONS. THE CITY SHALL FUND AND PERFORM ALL MAINTENANCE OPERATIONS ON ALL PUBLIC RIGHT-OF-WAYS. ADDITIONAL MAINTENANCE SHALL BE PERFORMED VIA THE DELO COMMERCIAL HOA. HOWEVER, ALL MAINTENANCE SHALL BE IN CONFORMANCE WITH THE APPROVED SUBDIVISION AGREEMENT.
13. ALL IMAGERIES BE CONCEPTUAL IN NATURE.
14. THE LIGHTING CONFIGURATION, DESIGN, FEATURE TYPES, ETC., AS DEPICTED HEREIN IS SUBJECT TO FURTHER ANALYSIS, DESIGN AND AVAILABILITY, AND AS SUCH MAY VARY FROM THE FINAL PUD TO FINAL CONSTRUCTION DOCUMENTS. PROPOSED LIGHTING WILL INCLUDE DIRECTIONAL COVERS AND SHALL BE DIRECTED AWAY FROM THE RESIDENCES.
15. ALL DELO PROJECT CALCULATIONS, INCLUDING: DENSITY, LANDSCAPING, PARKING, ETC. SHALL BE CALCULATED ON THE AGGREGATE DELO PROJECT AREAS.
16. THIS PUD PROVIDES AND ACCOMMODATES PUBLIC ACCESS AND RIGHT LINES TO THE FUTURE RTD NORTHWEST PLATFORM TO BE DEVELOPED WITHIN THE MHAF RIGHT-OF-WAY.
17. ON ALL OUTLOTS THE DEVELOPER WILL PROVIDE TRASH REMOVAL, LANDSCAPE MAINTENANCE (INCLUDES REPLACEMENT OR REPAIRS) AND THE DEVELOPER WILL PAY FOR THE METER, METER PIT AND YOKE BUT ALL TAP FEES SHALL BE WAIVED. THE DEVELOPER WILL FUND THE WATER CONSUMPTION WITHIN THE OUTLOTS UNTIL FINAL CITY OF LOUISVILLE FINAL ACCEPTANCE AT WHICH POINT WATER CONSUMPTION SHALL BE FUNDED BY THE CITY.
18. ON THE CANNON STREET RIGHT OF WAY THE DEVELOPER WILL PROVIDE TRASH REMOVAL, SNOW REMOVAL ON PEDESTRIAN AND DRIVE LANE AREAS, BIENNIAL TRENCH DRAIN CLEANING, AND LANDSCAPE MAINTENANCE (INCLUDES REPLACEMENT OR REPAIRS) CONSISTENT WITH THE LEVEL OF SERVICE TYPICALLY PROVIDED ON A LOCAL STREET. THE DEVELOPER WILL FUND THE WATER CONSUMPTION WITHIN THE RIGHT OF WAY UNTIL CITY OF LOUISVILLE FINAL ACCEPTANCE AT WHICH POINT WATER CONSUMPTION SHALL BE FUNDED BY THE CITY.



REQUESTED VARIANCE

VARIANCE	EXISTING CODE (CITY OF LOUISVILLE)	REQUESTS	LOCATION
STREET SECTIONS	SUBURBAN	SHARED SPACES / WALKABLE	PHASE 2
OFFICE/RETAIL HEIGHT	MIN: 2 STORES/35' MAX: 3 STORES/45'	MIN: 1 STORY/16' MAX: 3 STORES/45'	LOT 4, BLOCK 13
ACCESSORY STRUCTURE(S)	REAR SETBACK: 20'	REAR SETBACK: 0'	PHASE 2
INDOOR EATING & DRINKING ESTABLISHMENTS	GROSS FLOOR AREA: 5,000 SF	GROSS FLOOR AREA: 6,000 SF	PHASE 2
SIGNS	MUDDSG / MHAF	ROOF MOUNTED SIGN	LOT 4, BLOCK 13
SIGNS	MUDDSG / MHAF	MONUMENT (40 SQ FT)	PHASE 2

PUBLIC BENEFIT

THE DEVELOPMENT OF THE DELO PROJECT YIELDS PUBLIC BENEFITS GENERATED BY THE PLANNING, LAYOUT AND INNOVATION WITHIN THE DESIGN. PUBLIC BENEFITS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

1. THE PROJECT IS THE FIRST IMPLEMENTATION OF THE HIGHWAY 42 REHABILITATION AREA COMPREHENSIVE PLAN AND WILL PRESENTLY PROVIDE THE IMPETUS FOR THE CONTINUATION OF THAT PLAN. THE PUBLIC AND DEVELOPERS Alike, WILL VIEW THE AREA AS AN EXTENSION OF THE DOWNTOWN FABRIC PROVIDING MOMENTUM FOR CONTINUED DEVELOPMENT.
2. THROUGH THE IMPLEMENTATION OF THE DIVERSE USE MATRIX, THE PROJECT WILL STRENGTHEN AND ENHANCE ADJACENT RESIDENTIAL NEIGHBORHOODS BY PROVIDING HIGH QUALITY MULTIFAMILY DWELLINGS AUGMENTED BY A LOCAL COMMERCIAL, RETAIL AND OFFICE PRESENCE WITH AN EMPHASIS ON THE PEDESTRIAN EXPERIENCE. FURTHERMORE, THE PROJECT WILL PROTECT THE EXISTING RESIDENTIAL NEIGHBORHOODS THROUGH THE IMPLEMENTATION OF THOUGHTFUL SETBACK/BULK PLANS, PROVIDING CONSTRUCTION IMPLEMENTING HIGH QUALITY MATERIALS, SHIELDING PARKING LOTS THROUGH THE STRATEGIC SITE LAYOUT AND GENERATING GREENWAYS AND PUBLIC USE AREAS TO INTERJECT CIVIC SPACES.
3. THE DEVELOPMENT OF THE SOUTH STREET UNDERPASS ALONG WITH THE WOONER STREET CONCERN WILL COMPLEMENT AND INTEGRATE THE DEVELOPMENT WITH THE HISTORIC DOWNTOWN. THE SITE LAYOUT AND STREET SECTIONS WERE DEVELOPED TO ACCOMMODATE STRONG PEDESTRIAN AND MULTIMODAL CONNECTIONS THROUGH THE USE OF SHARED SPACES AND WILL ALLOW FOR WALKABILITY AND WILL DEVELOP A SENSE OF NEIGHBORHOOD.
4. THE PROJECT IS ANTICIPATED TO BRING HIGH-QUALITY RESIDENTIAL UNITS THAT WILL PROVIDE ADDITIONAL RESIDENCES TO SUPPORT HISTORIC DOWNTOWN BUSINESSES AND WILL ENCOURAGE COMMERCIAL OPPORTUNITIES BETWEEN CANNON STREET AND HIGHWAY 42. ADDITIONALLY, 35,000 SQUARE-FEET OF COMMERCIAL/RETAIL/OFFICE USE WILL SERVICE THE AREA AND WILL BOLSTER THE CITY'S TAX BASE.
5. THE DEVELOPMENT WILL REMOVE THE INDUSTRIAL ZONING AND REPLACE IT WITH MHAF ZONING, WHICH PROHIBITS NONCONFORMING INDUSTRIAL USES DISALLOWED BY THE REVITALIZATION PLAN. THIS PROJECT IS THE CATALYST FOR THE CORE PROJECT AREA AND WILL CREATE THE RIGHT-SIZED EXPANSION THAT PLAYS OFF THE HISTORIC DESTINATION OF LOUISVILLE.
6. THE MIX OF USES PROPOSED WITH THE DELO REDEVELOPMENT EXCEEDS THE MINIMUM REQUIREMENTS OF SECTION 17.14.050.D.2, WHICH PROVIDES A PUBLIC BENEFIT AND MEETS THE PURPOSE AND INTENT OF THE MHAF ZONE DISTRICT AND THE MUDDSG.
7. THE DEVELOPMENT INTEGRATES PRINCIPLES OF SUSTAINABLE ARCHITECTURE AND ENERGY CONSERVATION THROUGH THE ANTICIPATED IMPLEMENTATION OF ENVIRONMENTALLY RESPONSIBLE AND RESOURCE EFFICIENT TECHNOLOGIES WITH THE OBJECTIVE TO ENHANCE AND COMPLEMENT THE CLASSICAL BUILDING DESIGN CONCERNS OF ECONOMY, UTILITY, DURABILITY AND COMFORT. THIS MAY BE ACHIEVED THROUGH PHOTOVOLTAIC SOLUTIONS, ENERGY EFFICIENT HEATING AND COOLING, GREEN BUILDING PRODUCTS AND CONSTRUCTION WASTE REDUCTION.
8. THE CANNON STREET EXTENSION WILL PROVIDE ADDITIONAL PEDESTRIAN ACCESS, VIA THE SOUTH STREET GATEWAY TO THE DOWNTOWN EXPERIENCE. FURTHERMORE, PEDESTRIAN PLAZAS, WALKS, GREENWAY AND REFUGE AREAS WILL LINK THE PEDESTRIAN CORRIDORS AND CIRCULATION THROUGHOUT THE PROJECT AND PROVIDES A RECOGNIZED PUBLIC BENEFIT.
9. THE DELO REDEVELOPMENT WILL PROVIDE AMENITIES THAT WILL BE ENJOYED BY THE PUBLIC SUCH AS PLAZAS, CIVIC SPACES, GREENWAYS FOR COMMUNITY EVENTS AND GATHERING AREAS AS WELL AS THE WOONER CURVES ENVIRONMENT. PUBLIC ART INSTALLATIONS HAVE BEEN PROVIDED TO THE CITY OF LOUISVILLE FOR FUTURE USE AT THEIR SOLE DISCRETION. THE ABOVE MENTIONED PROPOSED AMENITIES SHALL PROVIDE CITY AND PUBLIC BENEFIT.
10. THE TOTAL PROPOSED DENSITY WITHIN PHASE 1, 1A AND 2 & 225 OF 54 UNITS LESS THAN THE APPROVED DENSITY AND SHALL BE DEEMED A PUBLIC BENEFIT.
11. ALL PUBLIC LAND DEDICATION REQUIREMENTS HAVE BEEN PREVIOUSLY MET FOR THE ENTIRETY OF THE PROJECT. PUBLIC LAND DEDICATION INCLUDES AS A PORTION OF THE APPLICATION IS IN EXCESS OF THAT TYPICALLY REQUIRED AND PROVIDES PUBLIC BENEFIT. OUTLOTS A, B AND C AS WELL AS OUTLOT 1 FROM THE INDUSTRIAL AREA SUBDIVISION REPLAT NO. 1 ARE BEING GENERATED FOR THE PUBLIC USE. THE TOTAL AREA FOR THESE OUTLOTS IS 0.97 ACRES, WITH THE INCLUSION OF OUTLOT 1 FROM THE INDUSTRIAL AREA SUBDIVISION REPLAT NO. 1, THE NAWATY GREENWAY IS 1.17 ACRES.
12. THE DELO DEVELOPMENT HAS CONTRIBUTED FUNDINGS FOR THE OFFICE DETENTION AND WATER QUALITY POND THAT WILL SERVICE DELO AND THE CORE PROJECT AREA AND FACILITATING THE FUTURE REDEVELOPMENT OF PARCELS WITHIN THE CORE PROJECT AREA THIS ALLOWING FOR THE CREATION OF A PUBLIC REGIONAL GREENWAY AND IS A PUBLIC BENEFIT.



sheet title

Master Plan & General Notes

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

planning & la

people creating spaces
pcs group, inc.
1001 16th street, 38-180
denver, CO 80265
tel (303) 531-4905
www.pcsgruopco.com

owner's rep

RACS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

designed by: SOS drawn by: SCD
checked by: JDM project #: 030017

engineering

ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

architecture

ARCHITECTURE
3003 Larimer Street
Denver, CO 80205
ph: (303) 861-5704
WWW.02arch.com

sheet

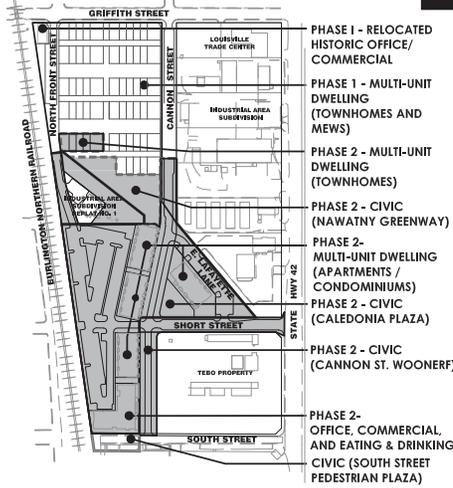
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delo Final Planned Unit Development Phase 2

Downtown East Louisville

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

PRODUCT TYPE KEY MAP (1" = 200')



MULTI-UNIT DWELLING (TOWNHOMES) SUMMARY

LAND USE	MU-R
DWELLING UNITS (ALLOWED)	72 DU
DWELLING UNITS PHASE 1(A)	55 DU
DWELLING UNITS (PHASE 2)	5 DU
DWELLING UNITS (NOT USED)	12

¹ FOR UNUSED DENSITY, PLEASE REFER TO PUBLIC BENEFIT NOTE 10 ON SHEET 3

PARKING SUMMARY

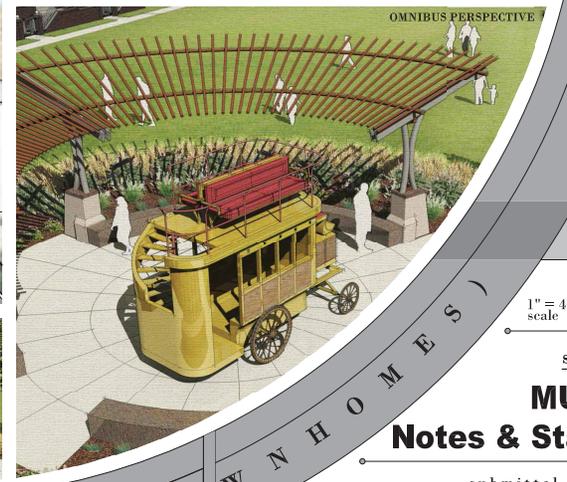
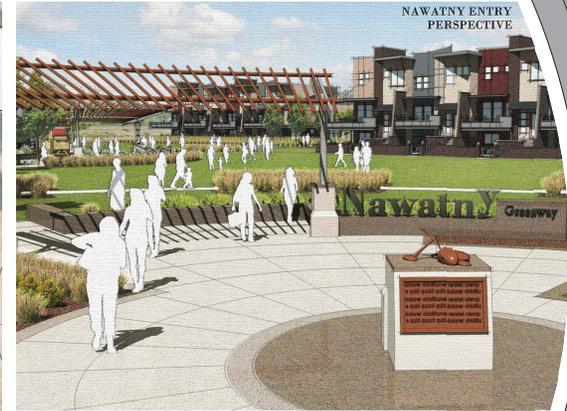
RESIDENTIAL CRITERIA	DWELLING UNITS (DU)	REQUIRED	PROVIDED ¹	PARKING RATIO
2 BEDROOM & LARGER X 2 SF/DU	5	10	PRIVATE GARAGE = 100 HEAD-IN SURFACE = 24 ² ON-STREET PARALLEL = 15 BICYCLE PARKING = 14 (NOT A PORTION OF THE PROVIDED "STALL" COUNT)	
GUEST X 1 SF/B DU		2		
TOTAL	5 (DU)	12	159²	2.65³

¹ TWO CAR GARAGES REQUIRED FOR EACH DWELLING UNIT AS PART OF THE TOWNHOME PRODUCT.
² SHARED PARKING SHALL BE GRANTED BETWEEN ALL TOWNHOME AND OFFICE/COMMERCIAL PRODUCT TYPES.
³ TOTAL PARKING PROVIDED AND PARKING RATIO IS SHOWN IN AGGREGATE BETWEEN PHASES 1, 1A AND 2.

BULK & DIMENSION STANDARDS

MULTI-UNIT DWELLING (TOWNHOMES)	
MIN. LOT WIDTH	50'
MIN. LOT COVERAGE	40%
MIN. LANDSCAPE COVERAGE	10%
MAX. FOOTPRINT	10,000 SF
MAX. LENGTH ALONG STREET	200'
MIN. % STREET FRONTAGE	70%
BUILDING SETBACKS:	
MIN. & MAX. PUBLIC STREET/OUTLOT/TRACT SETBACK (PRINCIPAL USES)	MAXIMUM: 10' MINIMUM: 0'
MIN. SIDE YARD SETBACK ¹ (PRINCIPAL & ACCESSORY USES)	0'
MIN. REAR YARD SETBACK (PRINCIPAL USES)	5'
MIN. REAR YARD SETBACK ² (ACCESSORY USES)	5' (LANE)
MAX. BUILDING HEIGHT	
PRINCIPAL USES	MIN.: 2 STOREYS/35' MAX.: 3 STOREYS/45'
ACCESSORY USES ³	20'

¹ SEE SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.
² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES, SHEET 3.
³ REFER TO THE BULK & DIMENSION CHART ON SHEET 3.



1" = 40' scale



sheet title
**MUD Plan,
Notes & Standards**

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD
checked by: JDM project #: 030017

TOWNHOMES - NOTES AND STANDARDS

- THE AREA WILL BE ORGANIZED AROUND TWO PRIMARY POINTS OF ACCESS KNOWN AS NORTH FRONT STREET AND CANNON STREET. THIS SITE LAYOUT ENHANCES ACCESS TO PUBLIC PLAZAS, GREEN SPACES, GREENWAYS, AND MULTIMODAL TRANSPORTATION OPPORTUNITIES.
- PER SECTION 11.4.D, IN THE MIDDLEG. MED-BLOCK ALLEYS ARE ENCOURAGED BY THE CITY OF LOUISVILLE IN PLACE OF SUCH ALLEYS. GREENWAYS ARE BEING USED IN THE TOWNHOMES, ROWHOMES AREA AS AN EFFORT TO BREAK UP THE BLOCK AND SHALL BE AN ACCEPTABLE SUBSTITUTE.
- REFER TO THE LAND USE SUMMARY ON SHEET 2 AND/OR THE SUBDIVISION AGREEMENT FOR TRACT AND OUTLOT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION INCLUDING DELINEATION OF MAINTENANCE RESPONSIBILITIES.
- USES ALLOWED BY RIGHT: SINGLE FAMILY ATTACHED UNITS AND ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.1.4.03(D), TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES, SHEET 3.
- BUILDINGS MAY BE BUILT AT TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF AND MAY INCLUDE OUTDOOR LIVING SPACES.
- THE TOWNHOMES SHALL HAVE ADDITIONAL CONDITIONS, COVENANTS AND RESTRICTIONS (CCRS) TO BE DEVELOPED BY THE DELO TOWNHOME HOA.
- IT IS ENCOURAGED TO PLANT DROUGHT TOLERANT, LOW GROWING PLANT MATERIAL IN THE LANES BETWEEN THE PLANTING STRIPS CREATED BY APRONS, AND EDGES OF CONCRETE LANE AND GARAGE. EVERGREEN AND DECIDUOUS SHRUB PLANTINGS WILL AID IN CREATING A MORE INVITING SPACE BY SOFTENING MANY OF THE LANES HARDSCAPE ELEMENTS, AS LONG AS THEY COMPLY WITH ESTABLISHED SETBACKS.
- THE PROPOSED TOWNHOMES SHALL BE PROTECTED WITH A TREE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A DEAD-END LINE.
- MULTI-FAMILY DWELLING UNITS WITHIN 100 FEET OF RAILROAD ROW WILL INCORPORATE NOISE-MITIGATION VIA ENHANCED WALL CONSTRUCTION AND WINDOW SPECIFICATION, INCLUDING A MINIMUM EXTERIOR WALL SOUND TRANSMISSION COEFFICIENT OF 35 dBA FACING THE RAILROAD ROW, WITH TIGHT FITTING TRIPLE PANE WINDOWS, AND SOLID CORE DOORS.
- ALL LANDSCAPING DEFICIT IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH SUBSEQUENT CONSTRUCTION PLAN SUBMITTALS.
- NORTH FRONT STREET, LEONARD LANE AND THE ASSOCIATED UTILITIES IN THE VICINITY OF THE FUTURE E. LAFAYETTE HIGH-RIDEWAY VACATION AND THAT CROSS THE COMCAST PARCEL SHALL BE CONSTRUCTED PERFORMING AN AGREEMENT WITH COMCAST. ANY REQUIRED PHASING OF THE INFRASTRUCTURE AFFECTED BY THE AGREEMENT SHALL BE DETERMINED WITH THE SUBSEQUENT CONSTRUCTION DOCUMENTS.

MULTI-UNIT DWELLING (TOWNHOMES)

planning & ia
people creating spaces
pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80245
tel (303) 531-4705
www.pcsgruppco.com

owner's rep
RMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

engineering
ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

architecture
OZ ARCHITECTURE
3003 Larimer Street
Denver, CO 80205
ph: (303) 861-5704
WWW.OZarch.com

sheet
4 of 34

de|lo Final Planned Unit Development Phase 2

Downtown East Louisville

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado

PRODUCT TYPE KEY MAP (1" = 200')



- PHASE 1 - RELOCATED HISTORIC OFFICE/COMMERCIAL
- PHASE 1 - MULTI-UNIT DWELLING (TOWNHOMES AND MEWS)
- PHASE 2 - MULTI-UNIT DWELLING (TOWNHOMES)
- PHASE 2 - CIVIC (NAWATY GREENWAY)
- PHASE 2- MULTI-UNIT DWELLING (APARTMENTS / CONDOMINIUMS)
- PHASE 2 - CIVIC (CALEDONIA PLAZA)
- PHASE 2 - CIVIC (CANNON ST. WOONERF)
- PHASE 2- OFFICE, COMMERCIAL, AND EATING & DRINKING CIVIC (SOUTH STREET PEDESTRIAN PLAZA)

MULTI-UNIT DWELLING (APARTMENTS/ CONDOMINIUMS) SUMMARY

LAND USE	MUR
DWELLING UNITS (ALLOWED)	172 DU
DWELLING UNITS (PROPOSED)	130 DU
DWELLING UNITS (NOT USED)	42

¹ FOR UNUSED DENSITY, PLEASE REFER TO PUBLIC BENEFIT NOTE 10 ON SHEET 3

PARKING SUMMARY

RESIDENTIAL CRITERIA	DWELLING UNITS (DU)	REQUIRED	PROVIDED	PARKING RATIO
STUDIOS X 1 SP/DU	36	36	HEADON AND PARALLEL SURFACE = 20 HEADON COVERED = 77	
1 BEDROOM X 1 SP/DU	72	72	CONCRETE PARALLEL #8 MOTORCYCLES/SCOOTER #2 (LOADING #2)	
2 BEDROOM X 2 SP/DU	11	22	BICYCLE PARKING #20 (NOT A PORTION OF THE PROVIDED 'STALL' COUNT)	
3 BEDROOM X 2 SP/DU	11	22		
GUEST X 1 SP/DU		17		
LOADING		2		
TOTAL	130	171	250	1.92

BULK & DIMENSION STANDARDS

	MULTI-UNIT DWELLING APARTMENTS, CONDOMINIUMS
MIN. LOT WIDTH	40'
MIN. LOT COVERAGE	40%
MIN. LANDSCAPE COVERAGE	10%
MAX. FOOTPRINT	15,000 SF
MAX. LENGTH ALONG STREET	200'
MIN. % STREET FRONTAGE	70%
BUILDING SETBACKS	
MIN. & MAX. PUBLIC STREET/OUTLOT ¹ TRACT SETBACK (PRINCIPAL USES)	MAXIMUM: 10'
MIN. SIDE YARD SETBACK ^{1,2} (PRINCIPAL & ACCESSORY USES)	0'
MIN. REAR YARD SETBACK ¹ (PRINCIPAL USES)	20'
MIN. REAR YARD SETBACK ² (ACCESSORY USES)	0'
MAX. BUILDING HEIGHT	
PRINCIPAL USES	MIN: 2 STORIES/3' MAX: 3 STORIES/45'
ACCESSORY USES ³	20'

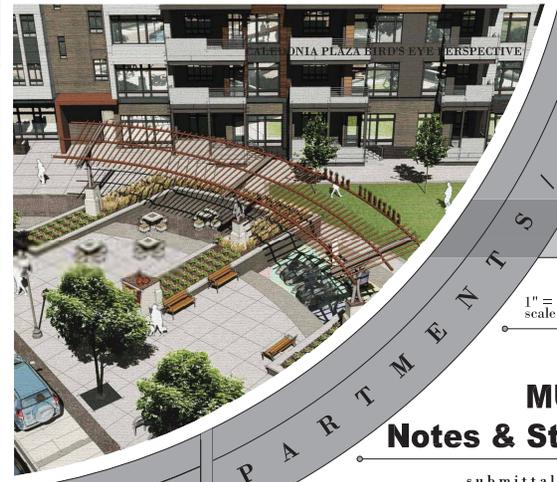
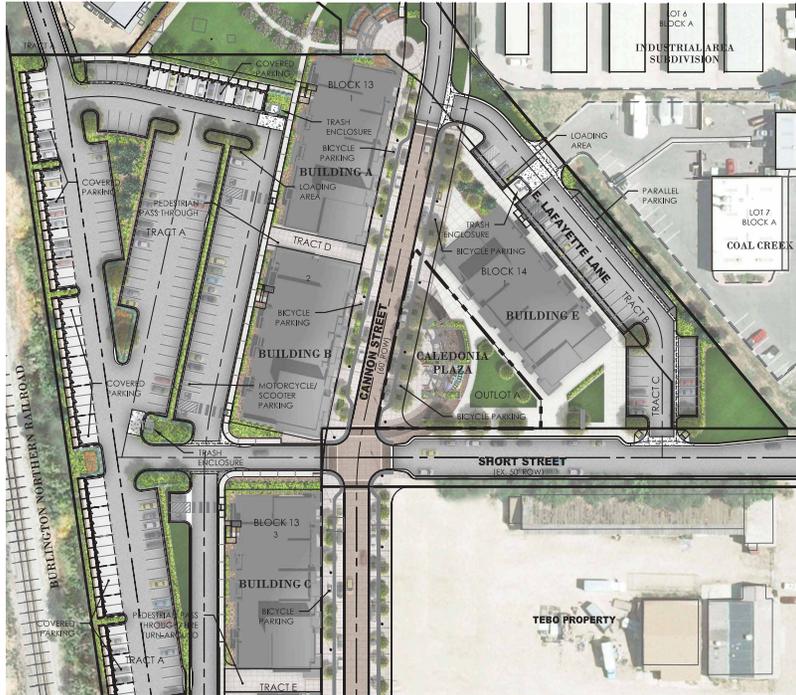
¹ SEE SHIPPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.

² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES, SHEET 3.

³ ROOFLINES, OVERHANGINGS, PATIOS, DECKS, PORCHES AND BALCONIES MAY EXTEND INTO THE ADJACENT TRACTS (A, C, D & E). SETBACKS SHALL BE MEASURED FROM THE BUILDING FACE AND NOT THE AFORE MENTIONED EXTENSIONS.

⁴ TO BE ADMINISTERED SOLELY AS A FRONT SETBACK.

⁵ REAR SETBACK SHALL BE MEASURED FROM PROPERTY LINES, NOT TRACT OR OUTLOT BOUNDARIES.



MULTI-UNIT DWELLING

MUD APARTMENTS/CONDOMINIUMS - NOTES AND STANDARDS

- THE APARTMENTS/CONDOMINIUMS WILL BE ORGANIZED AROUND FOUR PRIMARY POINTS OF ACCESS KNOWN AS SHORT STREET, CANNON STREET, NORTH FRONT STREET AND SOUTH STREET. THIS SITE LAYOUT ENHANCES ACCESS TO PUBLIC PLAZAS, GREEN SPACES, GREENWAYS, AND MULTIMODAL TRANSPORTATION OPPORTUNITIES.
- REFER TO THE LAND USE SUMMARY ON SHEET 2 AND/OR SUBDIVISION AGREEMENT FOR TRACT AND OUTLOT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION INCLUDING DELEGATION OF MAINTENANCE RESPONSIBILITIES.
- USES ALLOWED BY RIGHT: SINGLE FAMILY ATTACHED UNITS AND ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.14.020A, TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES, SHEET 3.
- BUILDINGS MAY BE BUILT AT TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF AND MAY INCLUDE OUTDOOR LIVING SPACES.
- THE PROPOSED APARTMENTS/CONDOMINIUMS SHALL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A DEAD-END LINE.
- ALL LANDSCAPING DEPICTED IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH SUBSEQUENT CONSTRUCTION PLAN SUBMITTALS.
- ALL COVERED PARKING IS CONCEPTUAL AND CAN BE REMOVED, RELOCATED OR MODIFIED WITH SUBSEQUENT CONSTRUCTION PLAN SUBMITTALS.
- THE ARCHITECT WILL VARY THE COLORS ON THE EXTERIOR BALCONIES OF THE RESIDENTIAL BUILDING TO CREATE VISUAL INTEREST. WE PROPOSE TO USE COMPLEMENTARY COLORS SELECTED OUT OF THE MATERIAL PALETTE FOR EACH BUILDING. THE ACTUAL COLOR ASSIGNMENT WILL BE FINALIZED IN THE SUBSEQUENT BUILDING CONSTRUCTION DOCUMENTS.
- ALL BUILDING HEIGHTS RELATIVE TO ASSOCIATED GRADE SHALL BE MEASURED PER THE CITY OF LOUISVILLE MUNICIPAL CODE.

planning & la

people creating spaces
pcs group, inc.
1001 16th street, 38-180
Denver, CO 80265
tel (303) 531-4905
www.pcsgrouppo.com

owner's rep

RACS
21 South Sunset Street
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Phone: 720.524.3620

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designed by: SOS drawn by: SCJ

checked by: JDM project #: 030017

engineering

ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 128th Ave, Ste 240
Broomfield, CO 80021
ph:(303) 368-5601
fx:(303) 368-5603

architecture

OZ ARCHITECTURE
3003 Larimer Street
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1" = 50'
scale



sheet title

MUD Plan, Notes & Standards

sheet

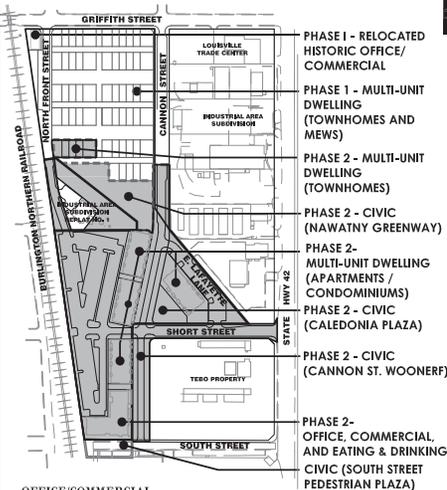
5 of 34

de lo Final Planned Unit Development Phase 2

Downtown East Louisville

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City of Louisville, County of Boulder, State of Colorado

PRODUCT TYPE KEY MAP (1" = 200')



OFFICE/COMMERCIAL SUMMARY

LAND USE	MU-42
MUR COMMERCIAL	31,046 SQ-FT

PARKING SUMMARY

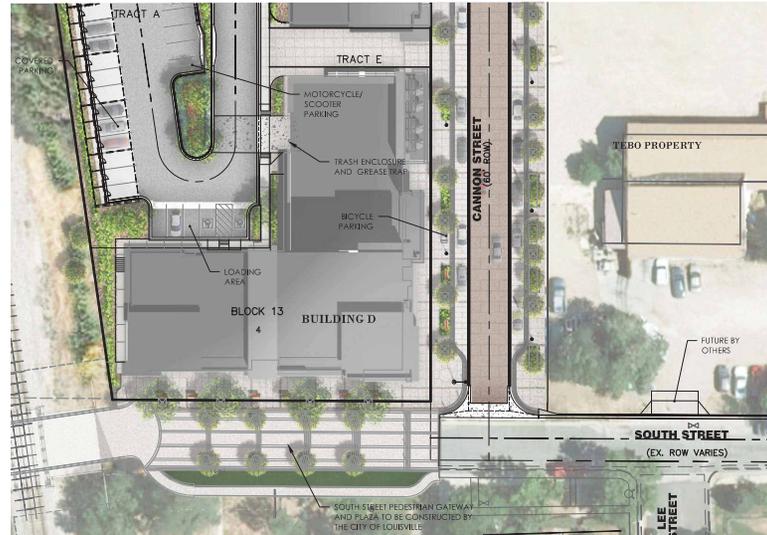
COMMERCIAL CRITERIA	GROSS LEASABLE AREA ¹ (GLA)	REQUIRED	PROVIDED	PARKING RATIO
(OFFICE) 1 SP/1000 SF	19,145 SF	39	HEADLINE SURFACE = 40 ON-STREET PARALLEL = 14 ³ MOTORCYCLE/SCOOTER = 2 LOADING = 1 BICYCLE PARKING = 4 (NOT A PORTION OF THE PROVIDED "STALL" COUNT)	
(REST/RETAIL) 1 SP/200 SF	5,081 SF	17		
LOADING		1		
TOTAL	24,226 (SF)	57 ²	57	2.35/ 1,000 SF

¹ GLA IS ASSUMED TO BE 80% OF TOTAL AREA (31,046 SF) AND HAS BEEN SHIPPED INTO FLOORS 2 & 3 AS PROFESSIONAL AND BUSINESS OFFICE USE AND FLOOR 1 AS RETAIL/EATING AND DRINKING ESTABLISHMENTS (ONLY ADJACENT TO CANNON STREET WOONERF).
² SHARED PARKING SHALL BE GRANTED BETWEEN ALL APARTMENT/CONDOMINIUM AND OFFICE/COMMERCIAL/RETAIL PRODUCT TYPES.
³ ON-STREET PARKING SHALL ALLOW FOR COMMERCIAL AND RESIDENTIAL PARKING.

BULK & DIMENSION STANDARDS

	OFFICE/COMMERCIAL
MIN. LOT WIDTH	40'
MIN. LOT COVERAGE	40%
MIN. LANDSCAPE COVERAGE	10%
MAX. FOOTPRINT	13,000 SF
MIN. LENGTH ALONG STREET	200'
MIN. % STREET FRONTAGE	70%
BUILDING SETBACKS	
MIN. & MAX. PUBLIC STREET/OUTLOT/TRACT SETBACK (PRINCIPAL USES) ^{4,5}	MAXIMUM: 10' ³
MIN. SIDE YARD SETBACK (PRINCIPAL & ACCESSORY USES)	0'
MIN. REAR YARD SETBACK ⁴ (PRINCIPAL USES)	20' ⁴
MIN. REAR YARD SETBACK ² (ACCESSORY USES)	0'
MAX. BUILDING HEIGHT	
PRINCIPAL USES	MIN: 1 STOREY/16' MAX: 3 STOREY/45'
ACCESSORY USES ²	20' MAX

¹ SEE SIMPLE LOTS CREATED WITHIN BUILDINGS SHALL HAVE NO SETBACK REQUIREMENT BETWEEN INTERNAL UNITS.
² ACCESSORY STRUCTURES AS ALLOWED PER APPLICABLE CITY CODE AND PER MASTER PLAN AND GENERAL NOTES, SHEET 3.
³ SHALL BE SUBJECT TO MUDDOG, SECTION 8, RESIDENTIAL PROTECTION AND TRANSITIONAL STANDARDS.
⁴ FOR BULK, OVERHANGS, PARADES, DECKS, PORCHES AND BALCONIES MAY EXTEND INTO THE ADJACENT TRACTS A, C, D & E. SETBACKS SHALL BE MEASURED FROM THE BUILDING FACE AND NOT THE ABOVE MENTIONED EXTENSIONS.
⁵ TO BE ADMINISTERED SOLELY AS A FRONT SETBACK.
⁶ REAR SETBACK SHALL BE MEASURED FROM PROPERTY LINES, NOT TRACT OR OUTLOT BOUNDARIES.



OFFICE, COMMERCIAL AND EATING & DRINKING

MUD OFFICE, COMMERCIAL, EATING AND DRINKING / RETAIL - NOTES AND STANDARDS

- REFER TO THE LAND USE SUMMARY ON SHEET 2 AND/OR SUBDIVISION AGREEMENT FOR TRACT AND OUTLOT OWNERSHIP AND GENERAL MAINTENANCE INFORMATION. REFER TO SUBDIVISION AGREEMENT FOR DELINEATION OF MAINTENANCE RESPONSIBILITIES.
- USES ALLOWED BY RIGHT: ALL USES AS PERMITTED IN THE LOUISVILLE MUNICIPAL CODE SECTION 17.1.03.05A, TABLE 1 IN ADDITION TO THOSE NOTED ON THE MASTER PLAN AND GENERAL NOTES, SHEET 3.
- BUILDINGS MAY BE BUILT AT ONE, TWO OR THREE STORY HEIGHTS, OR COMBINATIONS THEREOF.
- THE PROPOSED OFFICE, COMMERCIAL AND RESTAURANT SHALL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THAT SHALL BE OFF A LOOPED MAIN SUCH THAT NO MORE THAN ONE SERVICE IS OFF A DEAD-END LINE.
- ALL LANDSCAPING DEPICTED IS CONCEPTUAL AND IS SUBJECT TO CHANGE WITH SUBSEQUENT CONSTRUCTION PLAN SUBMITTALS.
- OPERABLE GARAGE DOORS ARE INTERCHANGEABLE WITH ALUMINUM CLAD GLASS DOORS AND/OR OTHER ARCHITECTURAL ELEMENTS ON THE GROUND FLOOR.
- ALL BUILDING HEIGHTS RELATIVE TO ASSOCIATED GRADE SHALL BE MEASURED PER THE CITY OF LOUISVILLE MUNICIPAL CODE.

1" = 30' scale north

sheet title

MUD Plan, Notes & Standards

submital

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ph:(303) 368-5601
fx:(303) 368-5603

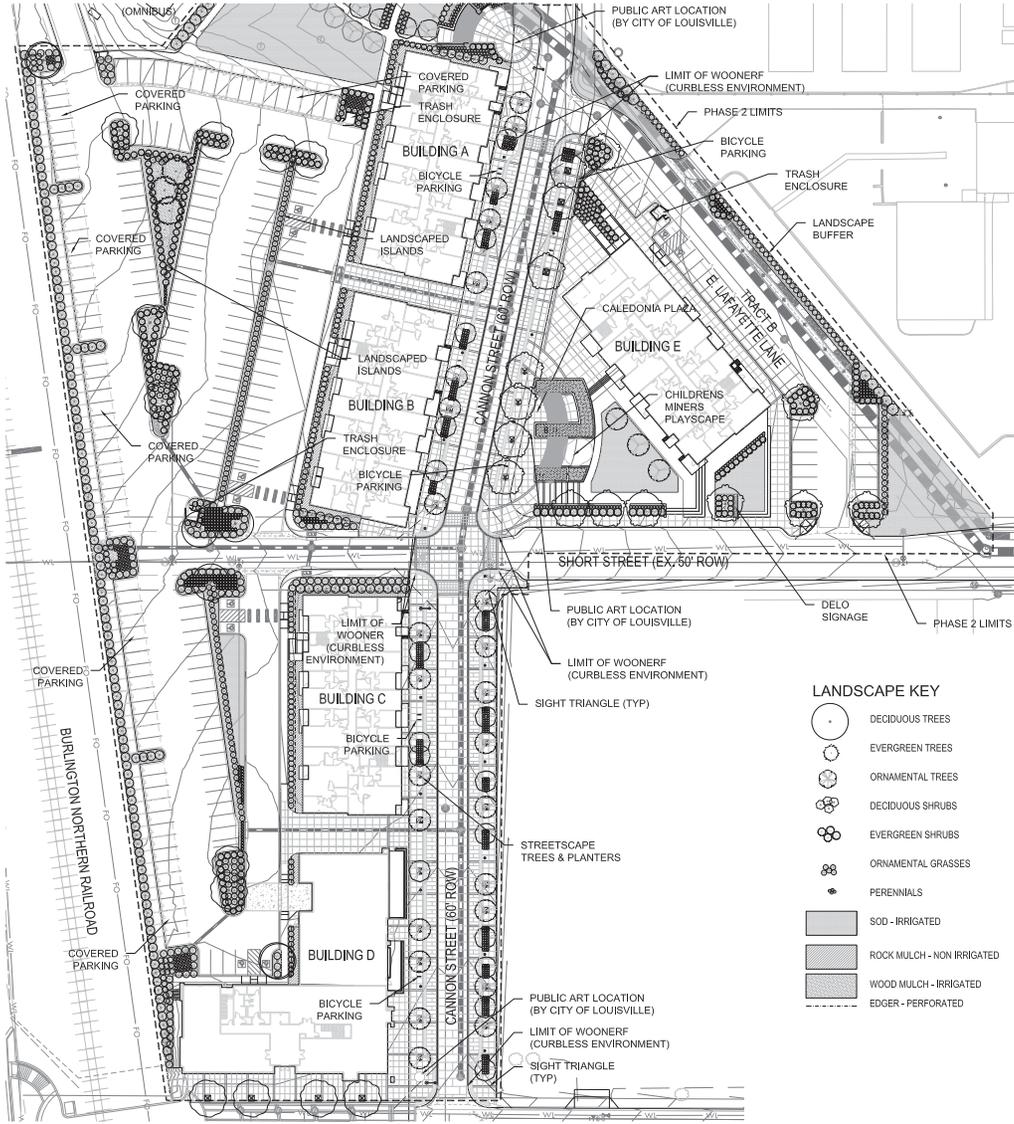
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sheet 6 of 34

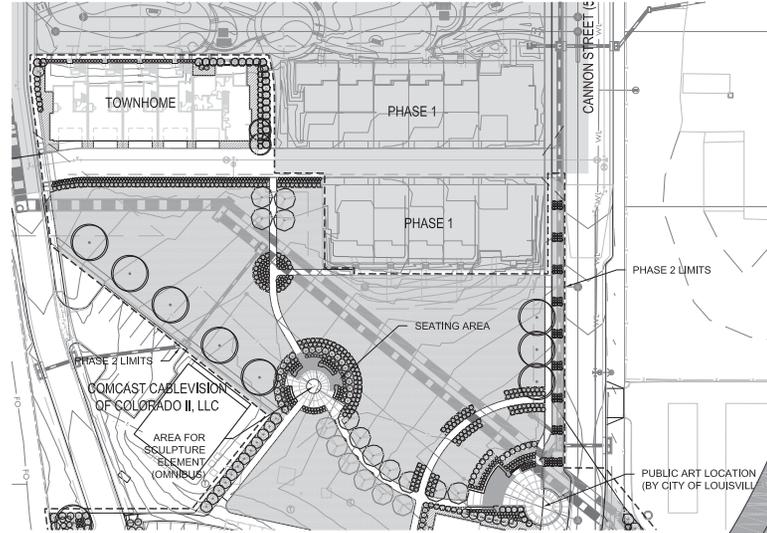
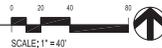
de lo Final Planned Unit Development Phase 2

Downtown Louisville

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



1 SOUTH END LANDSCAPE PLAN
SCALE: 1" = 40'



2 NAWATNY GREENWAY LANDSCAPE PLAN
SCALE: 1" = 40'



LANDSCAPE KEY

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIALS
- SOD - IRRIGATED
- ROCK MULCH - NON IRRIGATED
- WOOD MULCH - IRRIGATED
- EDGER - PERFORATED



north

sheet title Detailed Landscape Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

planning & la

creating spaces
pcs group, inc.
1001 16th street, 38-180
denver, CO 80265
tel (303) 531-4905
www.pcsgroupco.com

owner's rep

BMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

designed by: SA drawn by: KLM
checked by: PMS project #: 030009

engineering

ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

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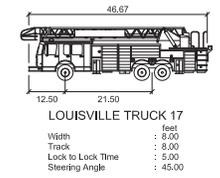
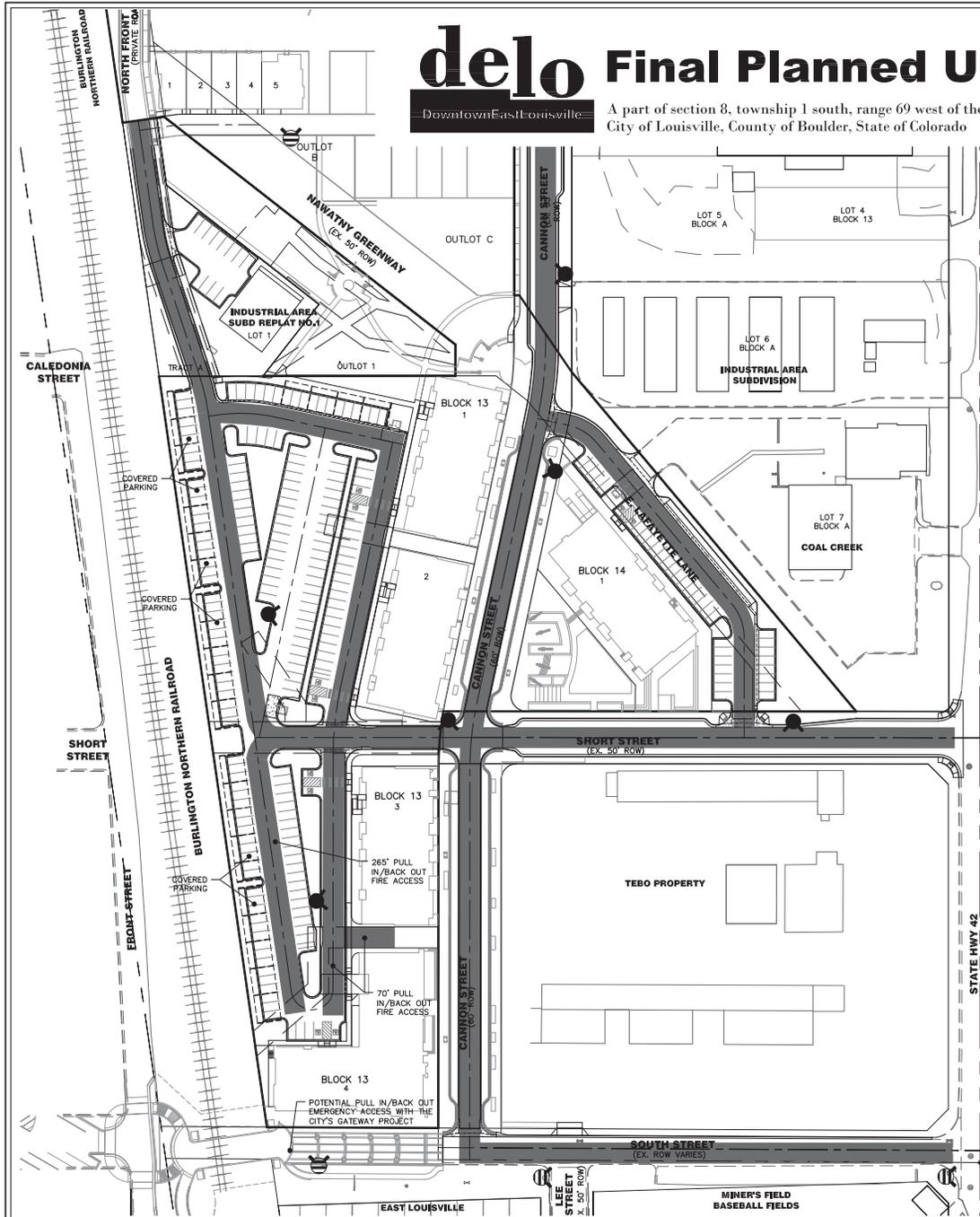
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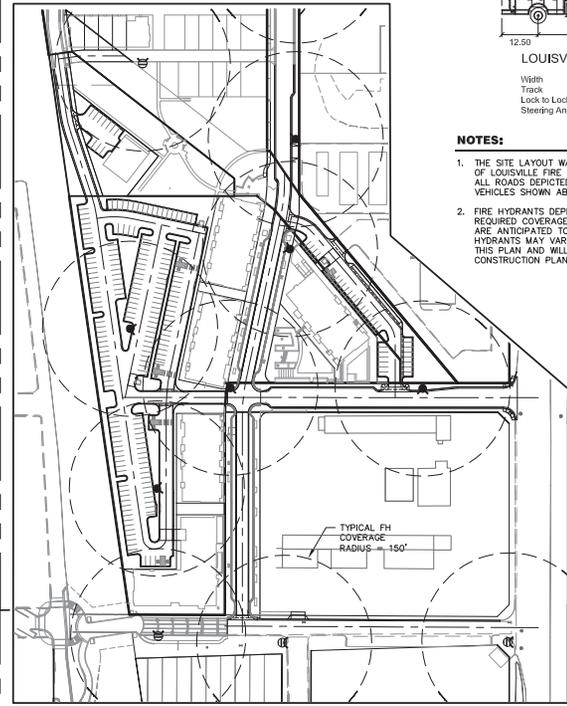
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Downtown East Louisville
 A part of section 8, township 1 south, range 69 west of the 6th p.m.
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- NOTES:**
1. THE SITE LAYOUT WAS EVALUATED FOR ACCESSIBILITY FOR THE CITY OF LOUISVILLE FIRE TRUCK UTILIZING THE PROGRAM AUTOTURN FOR ALL ROADS DEPICTED IN GRAY. THOSE AREAS ACCOMMODATE THE VEHICLES SHOWN ABOVE.
 2. FIRE HYDRANTS DEPICTED ARE TO PROVIDE THE ANTICIPATED REQUIRED COVERAGE TO SERVICE THE SITE. ALL PRODUCT TYPES ARE ANTICIPATED TO BE SPRINKLED. FINAL LOCATION OF THE FIRE HYDRANTS MAY VARY SLIGHTLY FROM INFORMATION DEPICTED ON THIS PLAN AND WILL BE DETERMINED WITH SUBSEQUENT CONSTRUCTION PLAN SUBMITTALS.



sheet title
Emergency Vehicle Access Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD
 checked by: JDM project #: 030017

- LEGEND**
- Emergency Vehicle Access Route (Louisville Truck & Truck 17)
 - Emergency Vehicle Access Route (Louisville Truck)
 - Proposed Fire Hydrant Location
 - Existing Fire Hydrant Location

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 people creating spaces
 pcs group, inc.
 1001 16th street, 3B-180
 Denver, CO 80205
 tel (303) 531-4705
 www.pcsgruppco.com

owner's rep
RMCS
 21 South Sunset Street
 Longmont, CO 80503
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engineering
ENGINEERING CONSULTANTS
 Contact: Jason D. Margraf, PE
 11101 W. 120th Ave. Ste 240
 Broomfield, CO 80021
 ph: (303) 368-5601
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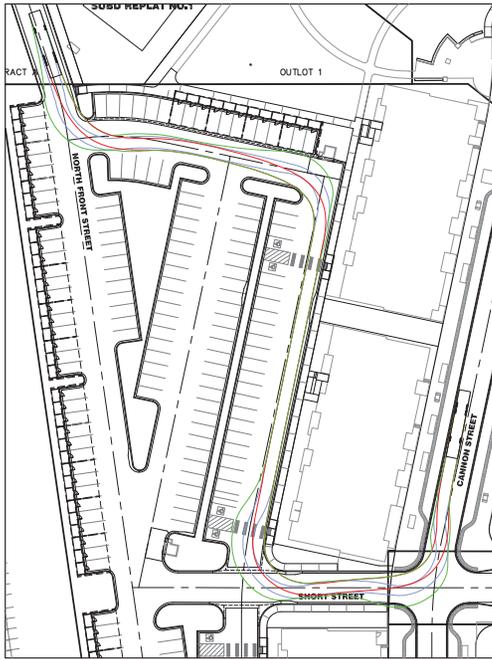
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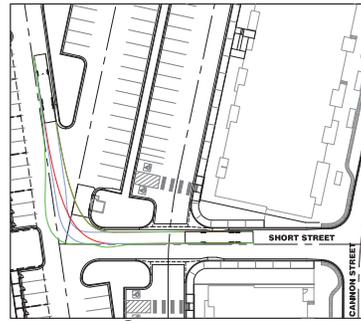
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Downtown East Louisville

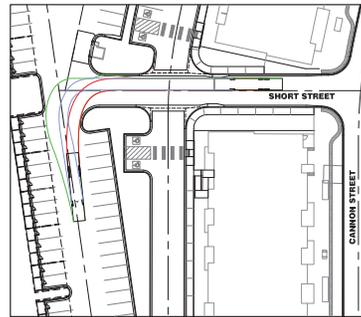
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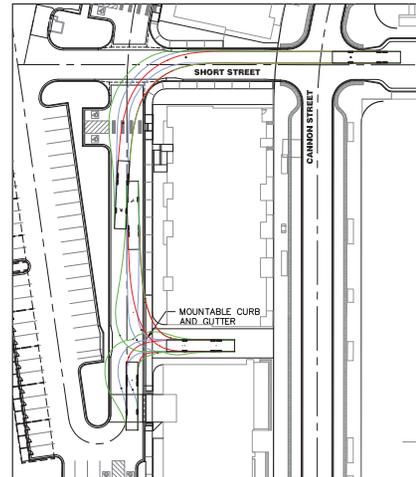
① - FIRE TRUCK 17



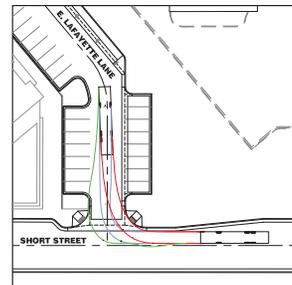
② - FIRE TRUCK 17



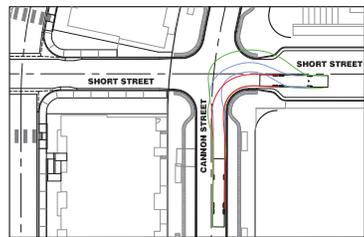
③ - FIRE TRUCK 17



④ - FIRE TRUCK 17



⑤ - FIRE TRUCK 17



⑥ - FIRE TRUCK 17



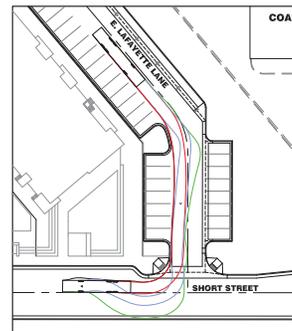
⑦ - FIRE TRUCK 17



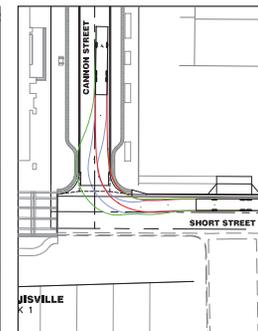
⑧ - FIRE TRUCK 17



⑨ - FIRE TRUCK 17

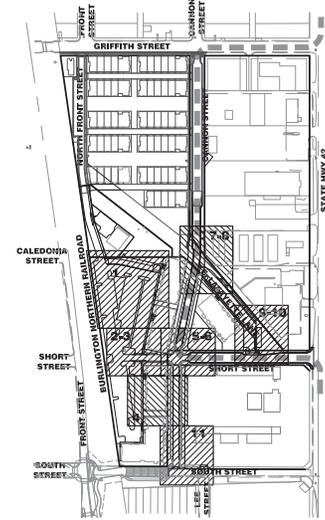


⑩ - FIRE TRUCK 17



⑪ - FIRE TRUCK 17

KEYMAP (1" = 200')



LEGEND

- VEHICLE LADDER/BUMPER OVERHANG
- VEHICLE FRONT TIRES
- VEHICLE REAR TIRES

NOTE:
INCREASED CONCRETE THICKNESS OF 8" IS REQUIRED FOR THE CROSSSPAN/GUTTER PAN AT CANNON STREET AND THE DEPRESSED WALK AND GUTTER PAN AT NORTH FRONT STREET. THE ADDITIONAL CONCRETE THICKNESS SHALL BE SPECIFIED WITHIN THE SUBSEQUENT CONSTRUCTION DOCUMENTS.

1" = 40'
scale



sheet title

Turning Movement Details

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD

checked by: JDM project #: 030017

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people creating spaces
pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80245
tel (303) 531-4705
www.pcsgruppco.com

owner's rep
RMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

engineering
ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

architecture
ENGINEERING CONSULTANTS
3003 Larimer Street
Denver, CO 80205
ph: (303) 861-5704
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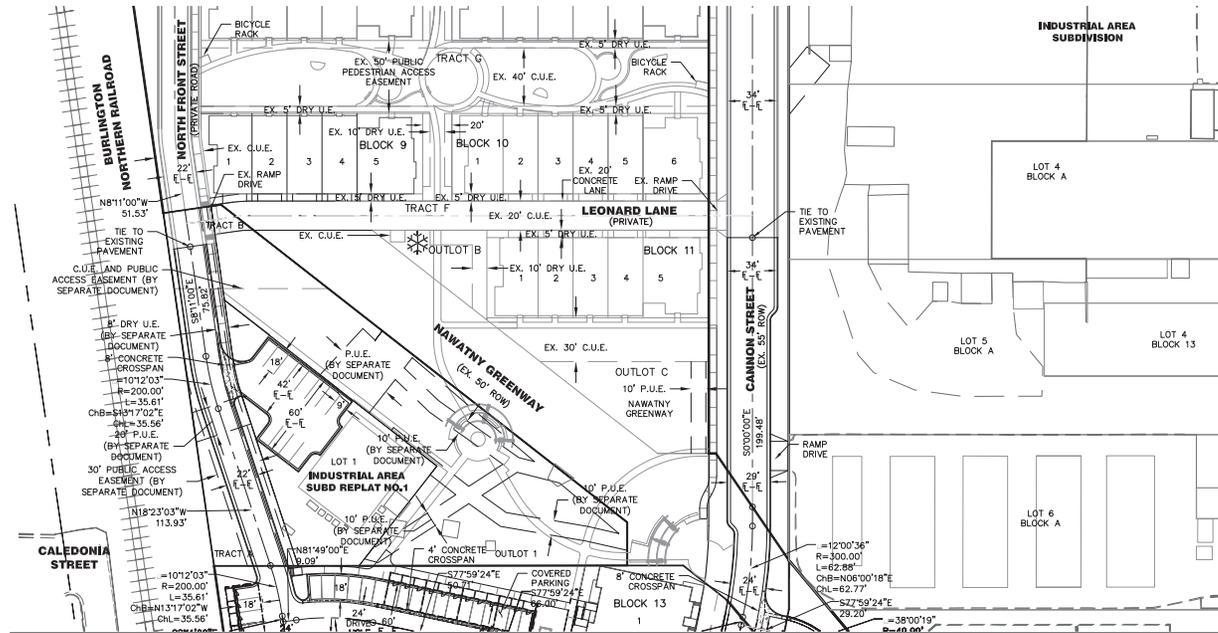
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Downtown East Louisville

Final Planned Unit Development Phase 2

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City of Louisville, County of Boulder, State of Colorado



LEGEND

- CENTER LINE OF STREET
- PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT LINE

EX. CURB, GUTTER, CROSSSPAN
SIDEWALK & RAMP

CURB, GUTTER, CROSSSPAN
SIDEWALK & RAMP

POTENTIAL SNOW STORAGE LOCATION

- NOTES**
- DESIGNS FOR GREENSPACE AND GREENWAYS ARE CONCEPTUAL AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL DESIGN FOR THESE AREAS WILL BE PRESENTED IN SUBSEQUENT SUBMITTALS AND CONSTRUCTION DOCUMENTS.
 - GREENSPACE IMPROVEMENTS WILL BE DESIGNED TO ACCOMMODATE ACCESS FOR THE CONTINUED MAINTENANCE OF EXISTING UTILITIES WITHIN THE VACATED EAST LAFAYETTE STREET RIGHT-OF-WAY.
 - THE HORIZONTAL LAYOUT PRESENTED IN THIS PLAN IS A REPRESENTATION OF THE DESIGN INTENT FOR THE DELO DEVELOPMENT. SPECIFIC ELEMENTS ARE SUBJECT TO REVISION IN ORDER TO ACCOMMODATE UNFORESEEN CIRCUMSTANCES AND CHANGING PROJECT CONDITIONS.
 - THE WOONERF DESIGN PROPOSED FOR CANNON STREET IS A REPRESENTATION OF THE DESIGN INTENT. SPECIFIC ELEMENTS ARE SUBJECT TO MODIFICATION WITH THE SUBSEQUENT CONSTRUCTION PLAN DOCUMENTS.
 - CANNON STREET RIGHT-OF-WAY SHALL BE DEDICATED VIA THE FINAL DELO SUBDIVISION RELAT NO. 1 OR SHALL BE OBTAINED VIA SEPARATE INSTRUMENT TO ENSURE THE REQUIRED IMPROVEMENT TIMING TO SUPPORT THE DELO PHASE 2 DEVELOPMENT.
 - THE REQUIRED ACCESS AND CONSTRUCTION EASEMENTS THROUGH THE COMCAST PARCEL SHALL BE OBTAINED PRIOR TO THE EXTENSION OF NORTH FRONT STREET. HOWEVER, THE EXTENSION SHALL NOT LIMIT THE TIMING OF THE PHASE 2 CONSTRUCTION SO LONG AS TWO POINTS OF EMERGENCY ACCESS ARE PROVIDED.

- ABBREVIATIONS**
- C.U.E. = CITY EXCLUSIVE UTILITY EASEMENT
 - P.U.E. = PRIVATE DRAINAGE EASEMENT
 - ROW = RIGHT-OF-WAY
 - E = FLOWLINE



Horizontal Control Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD
checked by: JDM project #: 030017

planning & ia
people creating spaces
pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80245
tel (303) 531-4905
www.pcsgroupco.com

owner's rep
RACS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

engineering
ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

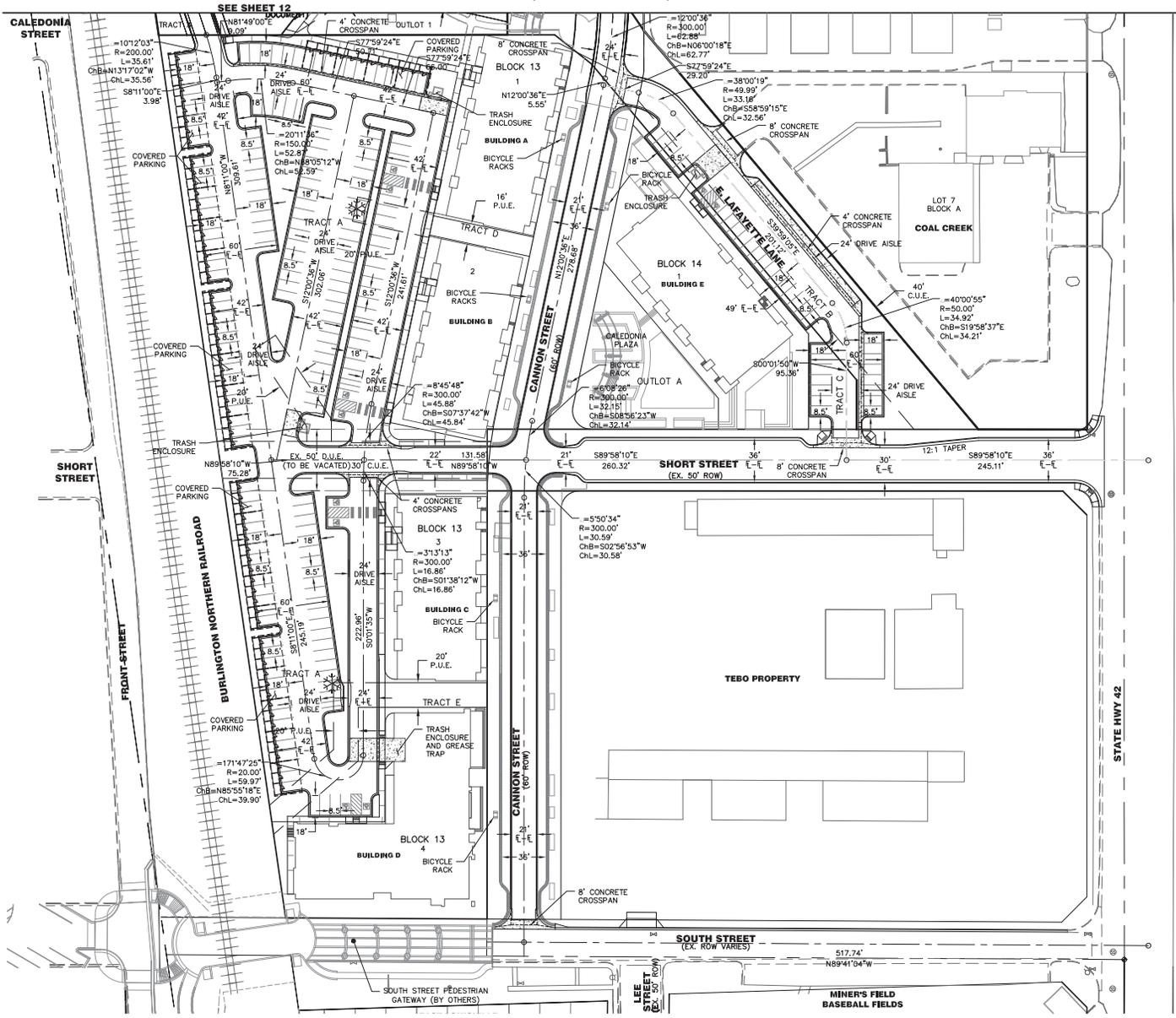
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ph: (303) 861-5704
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12 of **34**

delo Final Planned Unit Development Phase 2

Downtown East Louisville

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City of Louisville, County of Boulder, State of Colorado



LEGEND

- CENTER LINE OF STREET
- PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- - - EASEMENT LINE

EX. CURB, GUTTER, CROSSSPAN
SIDEWALK & RAMP

CURB, GUTTER, CROSSSPAN
SIDEWALK & RAMP

POTENTIAL SNOW STORAGE LOCATION

- ### NOTES
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- ### ABBREVIATIONS
- C.U.E. = CITY EXCLUSIVE UTILITY EASEMENT
 - P.U.E. = PRIVATE DRAINAGE EASEMENT
 - ROW = RIGHT-OF-WAY
 - ℓ = FLOWLINE

1" = 40'
scale

north

sheet title

Horizontal Control Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD
checked by: JDM project #: 030017

planning & la
people creating spaces
pcs group, inc.
1001 16th street, 3B-180
denver, CO 80245
tel (303) 531-4905
www.pcsgroupco.com

owner's rep
RMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

engineering
ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave. Ste 240
Broomfield, CO 80021
ph: (303) 368-5001
fx: (303) 368-5003

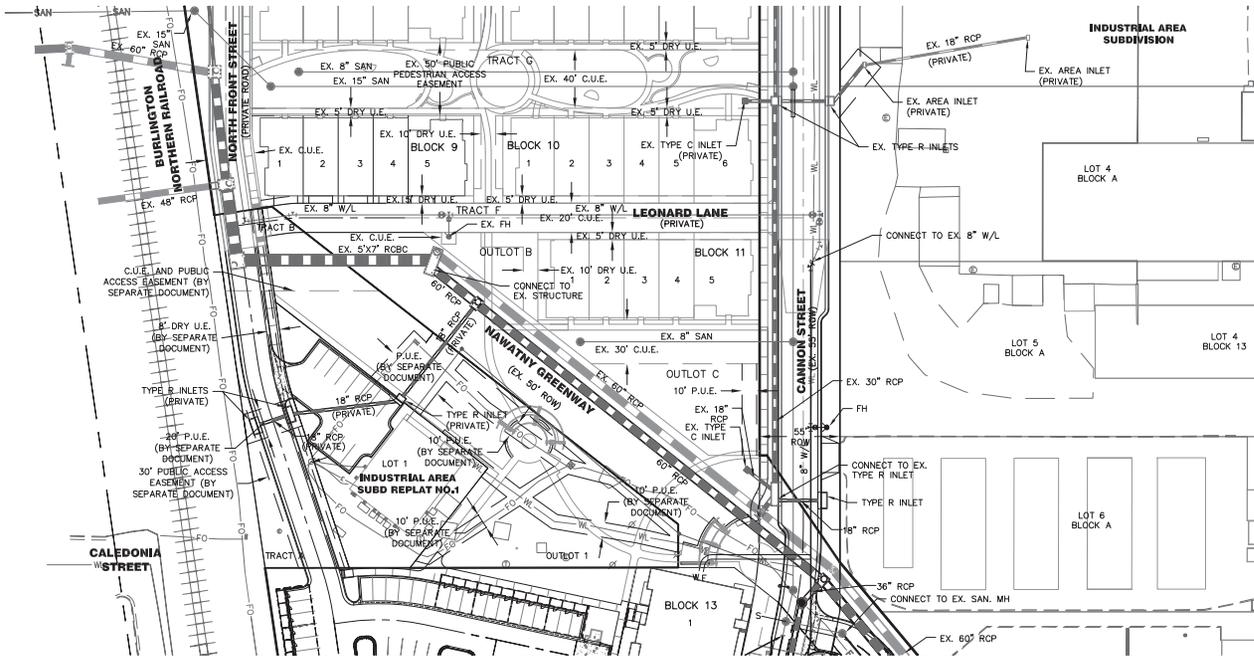
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3003 Larimer Street
Denver, CO 80205
ph: (303) 861-5704
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13 of 34

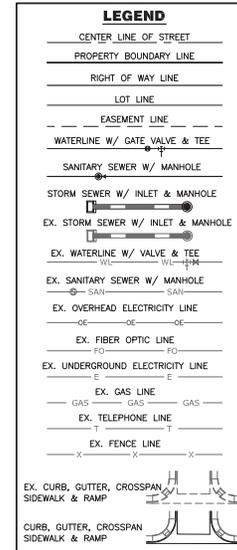
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Downtown East Louisville

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



SEE SHEET 15



NOTES

1. THE UTILITY LAYOUT PRESENTED IN THIS PLAN IS A REPRESENTATION OF THE DESIGN INTENT FOR THE DEVELOPMENT. SPECIFIC ELEMENTS ARE SUBJECT TO REVISION IN ORDER TO ACCOMMODATE UNFORSEEN CIRCUMSTANCES AND CHANGING PROJECT CONDITIONS.
2. FOR THE PURPOSES OF CLARITY, CERTAIN EXISTING UTILITIES ARE NOT SHOWN ON THIS PLAN. THESE INCLUDE MOST DRY UTILITIES, UTILITIES BEING ABANDONED OR REMOVED AS A PART OF THIS PROJECT.

ABBREVIATIONS

- RCP = REINFORCED CONCRETE PIPE
- W/L = WATER LINE
- SAN = SANITARY SEWER
- C.U.E. = CITY EXCLUSIVE UTILITY EASEMENT
- P.U.E. = PRIVATE DRAINAGE EASEMENT

1" = 40' scale



sheet title

Overall Utility Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD
checked by: JDM project #: 030017

planning & ia
people creating spaces
pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80205
tel (303) 531-4905
www.pcsgroupco.com

owner's rep
RACS
21 South Sunset Street
Longmont, CO 80503
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ENGINEERING CONSULTANTS
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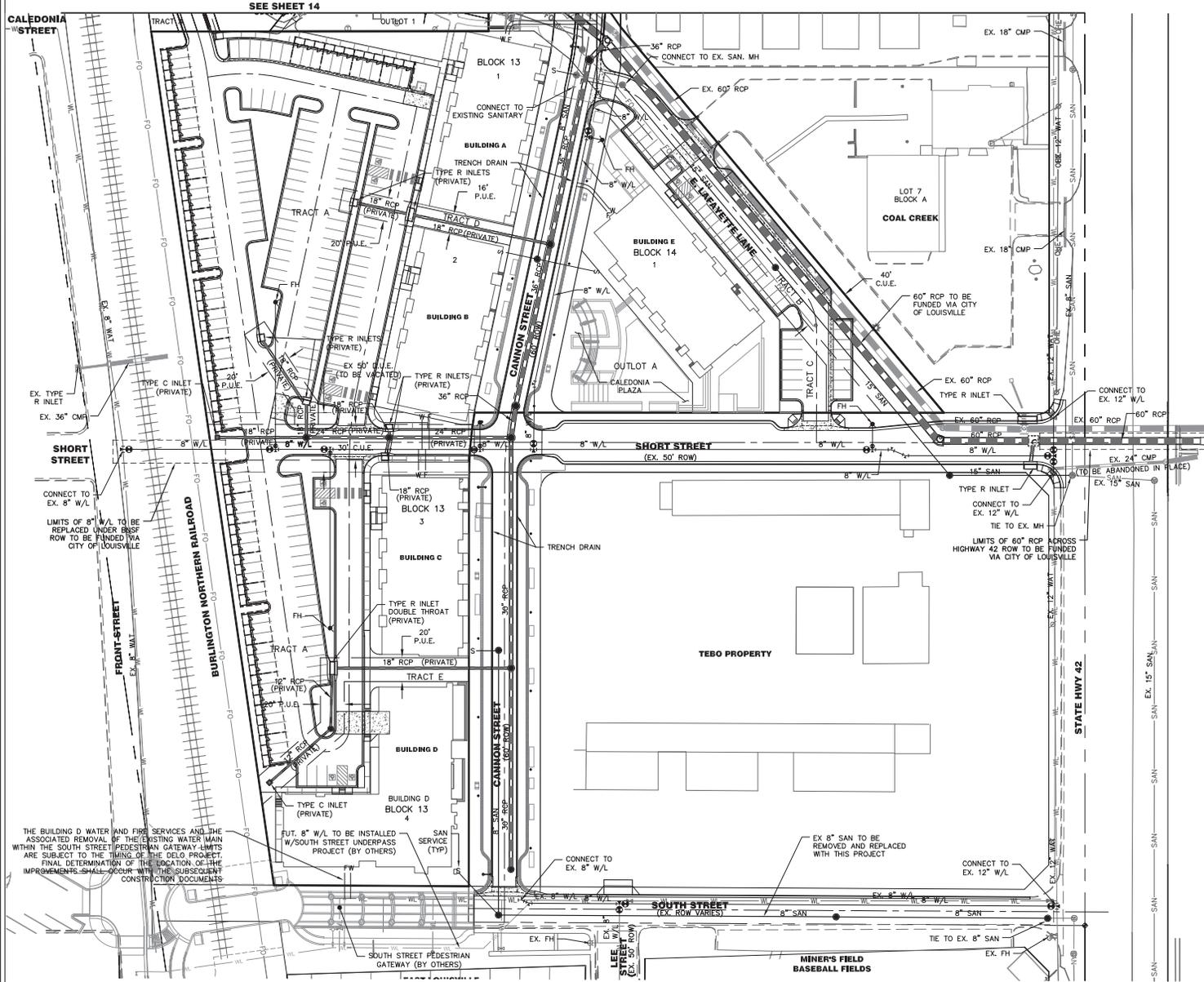
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Downtown East Louisville

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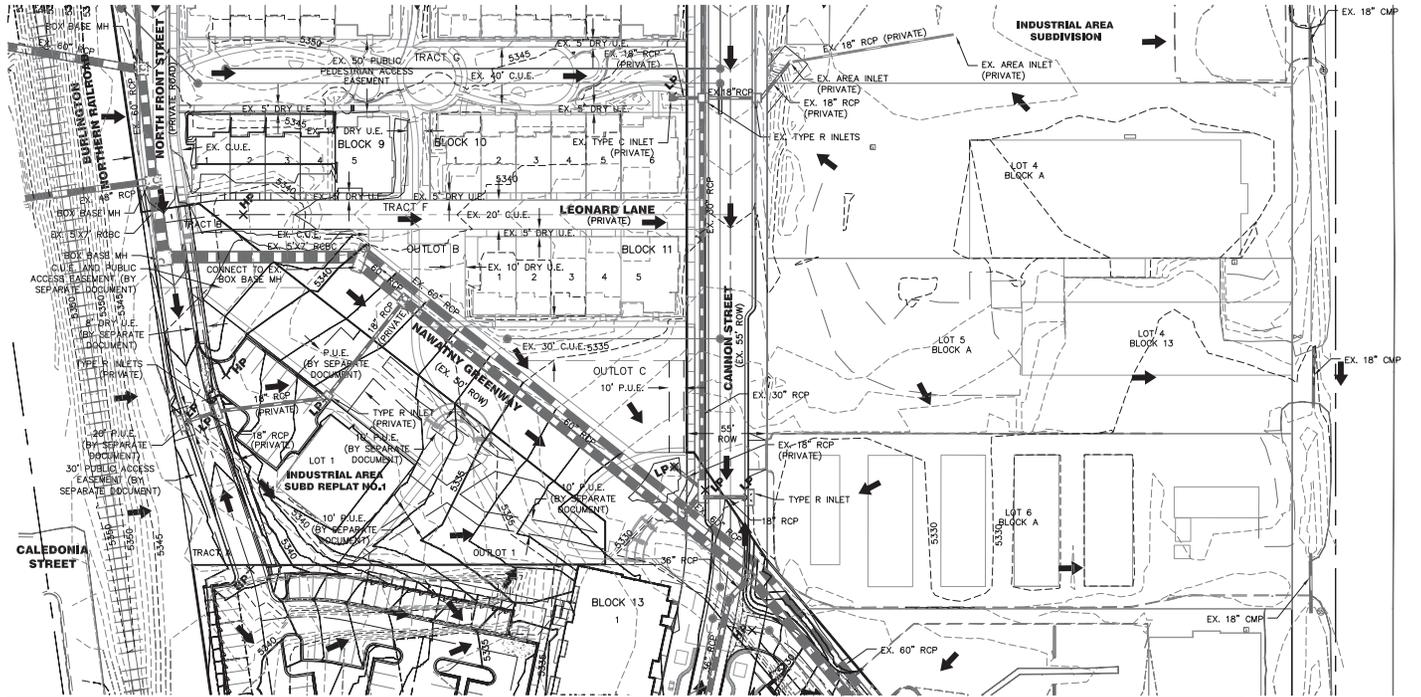




Downtown East, Louisville

Final Planned Unit Development Phase 2

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City of Louisville, County of Boulder, State of Colorado



SEE SHEET 17

LEGEND

- CENTER LINE OF STREET
- PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- EASEMENT LINE
- PROPOSED CONTOURS 5800
- EXISTING CONTOURS 5700
- XHP / XLP HIGH POINT / LOW POINT
- FLOW DIRECTIONAL ARROW
- STORM SEWER W/ INLET & MANHOLE
- EX. STORM SEWER W/ INLET & MANHOLE
- EX. FENCE LINE
- EX. CURB, GUTTER, CROSSSPAN SIDEWALK & RAMP
- CURB, GUTTER, CROSSSPAN SIDEWALK & RAMP

ABBREVIATIONS

- RCP = REINFORCED CONCRETE PIPE
- LP = LOW POINT
- HP = HIGH POINT
- U.E. = UTILITY EASEMENT
- C.U.E. = CITY EXCLUSIVE UTILITY EASEMENT
- P.U.E. = PRIVATE UTILITY EASEMENT

1" = 40' scale



sheet title

Overall Grading Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

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people creating spaces
pcs group, inc.
1001 16th street, 3B-180
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designed by: SOS drawn by: SCD
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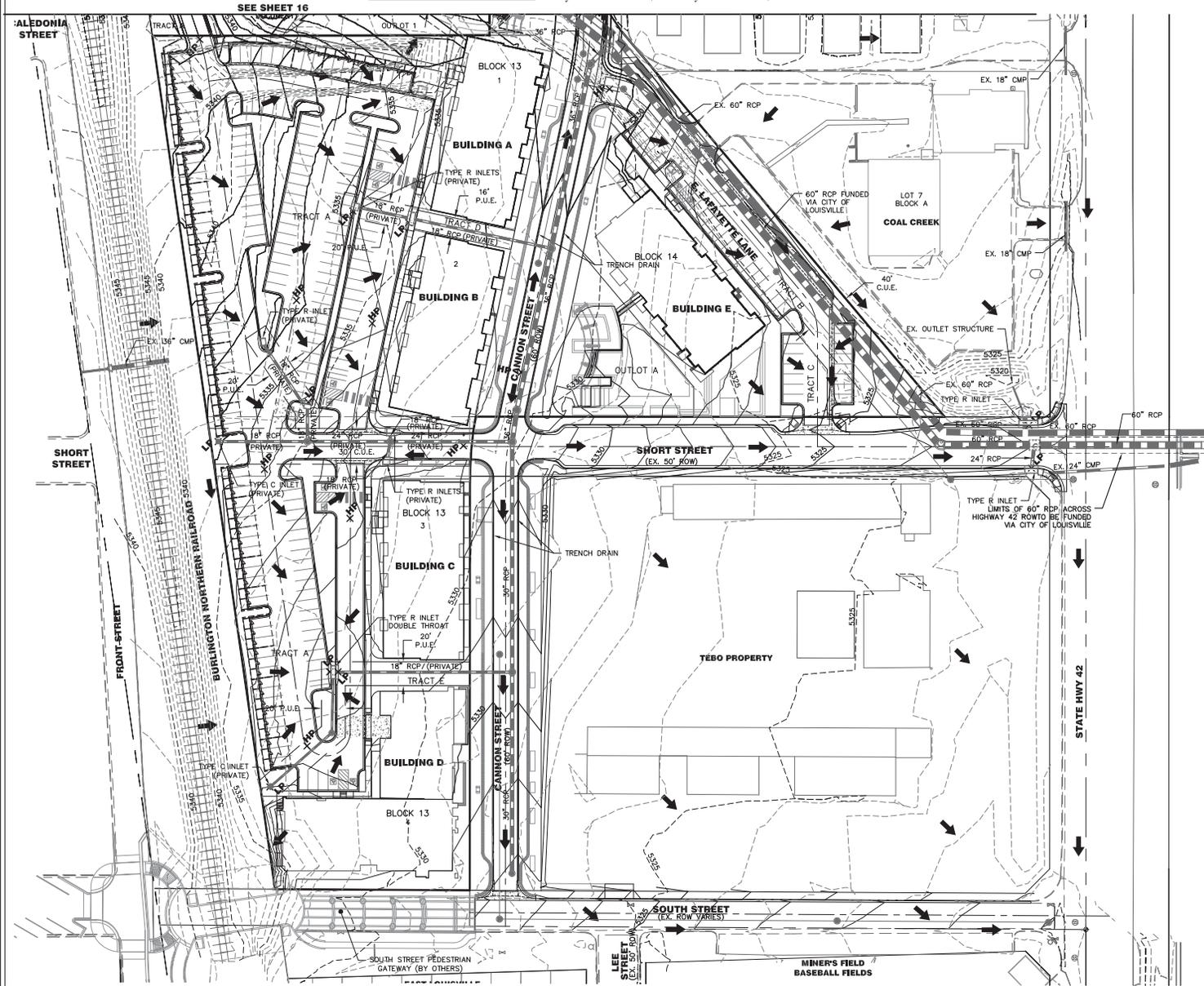
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16 of 34

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LEGEND

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- C.U.E. = CITY EXCLUSIVE UTILITY EASEMENT
- P.U.E. = PRIVATE UTILITY EASEMENT

1" = 40' scale
north

sheet title
Overall Grading Plan

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

designed by: SOS drawn by: SCD
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Denver, CO 80245
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owner's rep
RMCS
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Longmont, CO 80503
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engineering
ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
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Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

architecture
OZ ARCHITECTURE
3003 Larimer Street
Denver, CO 80205
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Final Planned Unit Development Phase 2

Downtown East Louisville

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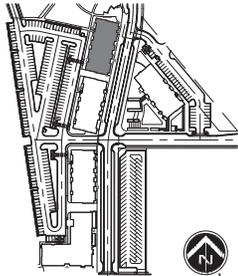
DELO BUILDING A - NORTH ELEVATION
1/8" = 1'-0"



PERSPECTIVE



DELO BUILDING A - EAST ELEVATION
1/8" = 1'-0"



KEY PLAN

DELO PHASE II BUILDING MATERIAL PALETTE

	LS1. CEMENT LAP SIDING OR STUCCO		SS1. STANDING SEAM METAL SIDING / ROOF
	LS2. CEMENT LAP SIDING OR STUCCO		SS2. STANDING SEAM METAL SIDING / ROOF
	MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		W01. ALUMINUM CLAD WINDOW FRAME
	MS2. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		W02. VINYL CLAD WINDOW FRAME
	MS3. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		SP1. SPANDREL PANEL
	MS4. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		ST1. ALUMINUM STOREFRONT SYSTEM
	W01. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN		TP1. PAINTED ACCENT TRIM
	BR1. BRICK, RUNNING BOND		MB1. PAINTED FAUX METAL EXPOSED BEAM
	BR2. BRICK, RUNNING BOND		GR1. POWDERCOATED METAL GUARDRAIL
	SN1. STONE VENEER		



scale north
sheet title
Architectural Elevations

submittal		
no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
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denver, CO 80265
tel (303) 531-4905
www.pcsgroupco.com

owner's rep
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21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

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engineering
CONSTRUCTORS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

architecture
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NOTE: ALL MATERIALS & COLORS FROM THE DELO PHASE II BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE IN THE CONSTRUCTION DOCUMENTATION PROCESS.
THE ARCHITECT WILL VARY THE COLORS ON THE EXTERIOR BALCONIES OF THE RESIDENTIAL BUILDINGS TO CREATE VISUAL INTEREST BY PROPOSING TO USE COMPLEMENTARY COLORS SELECTED OUT OF THE MATERIAL PALETTE FOR EACH BUILDING. THE ACTUAL COLOR ASSIGNMENT WILL BE FINALIZED IN SUBSEQUENT BUILDING CONSTRUCTION DOCUMENTS.



Final Planned Unit Development Phase 2

Downtown East Louisville

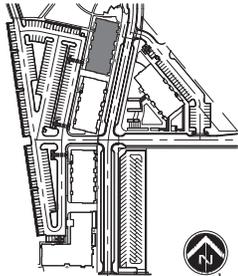
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City of Louisville, County of Boulder, State of Colorado



DELO BUILDING A - SOUTH ELEVATION
1/8" = 1'-0"



DELO BUILDING A - WEST ELEVATION
1/8" = 1'-0"



KEY PLAN

DELO PHASE II BUILDING MATERIAL PALETTE

	LS1. CEMENT LAP SIDING OR STUCCO		SS1. STANDING SEAM METAL SIDING / ROOF
	LS2. CEMENT LAP SIDING OR STUCCO		SS2. STANDING SEAM METAL SIDING / ROOF
	MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		W01. ALUMINUM CLAD WINDOW FRAME
	MS2. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		W02. VINYL CLAD WINDOW FRAME
	MS3. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		SP1. SPANDREL PANEL
	MS4. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		ST1. ALUMINUM STOREFRONT SYSTEM
	W01. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN		TP1. PAINTED ACCENT TRIM
	BR1. BRICK, RUNNING BOND		MB1. PAINTED FAUX METAL EXPOSED BEAM
	BR2. BRICK, RUNNING BOND		GR1. POWDERCOATED METAL GUARDRAIL
	SN1. STONE VENEER		

NOTE:
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BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE
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scale



sheet title Architectural Elevations

submittal

no	date	description
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Final Planned Unit Development Phase 2

Downtown East Louisville

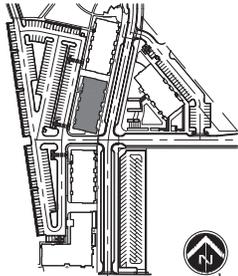
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DELO BUILDING B - SOUTH ELEVATION
1/8" = 1'-0"



DELO BUILDING B - WEST ELEVATION
1/8" = 1'-0"



KEY PLAN

DELO PHASE II BUILDING MATERIAL PALETTE

- | | |
|--|--|
| LS1. CEMENT LAP SIDING OR STUCCO | SS1. STANDING SEAM METAL SIDING / ROOF |
| LS2. CEMENT LAP SIDING OR STUCCO | SS2. STANDING SEAM METAL SIDING / ROOF |
| MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL | W01. ALUMINUM CLAD WINDOW FRAME |
| MS2. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL | W02. VINYL CLAD WINDOW FRAME |
| MS3. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL | SP1. SPANDREL PANEL |
| MS4. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL | ST1. ALUMINUM STOREFRONT SYSTEM |
| WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN | TP1. PAINTED ACCENT TRIM |
| BR1. BRICK, RUNNING BOND | MB1. PAINTED FAUX METAL EXPOSED BEAM |
| BR2. BRICK, RUNNING BOND | GR1. POWDERCOATED METAL GUARDRAIL |
| SN1. STONE VENEER | |



scale north
sheet title
Architectural Elevations

submittal		
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21 of **34**

NOTE:
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Final Planned Unit Development Phase 2

DownTown East Louisville

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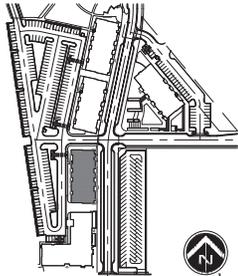
DELO BUILDING C - NORTH ELEVATION
1/8" = 1'-0"



PERSPECTIVE



DELO BUILDING C - EAST ELEVATION
1/8" = 1'-0"



KEY PLAN

DELO PHASE II BUILDING MATERIAL PALETTE

LS1. CEMENT LAP SIDING OR STUCCO	SS1. STANDING SEAM METAL SIDING / ROOF
LS2. CEMENT LAP SIDING OR STUCCO	SS2. STANDING SEAM METAL SIDING / ROOF
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MS4. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL	ST1. ALUMINUM STOREFRONT SYSTEM
W1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN	TP1. PAINTED ACCENT TRIM
BR1. BRICK, RUNNING BOND	MB1. PAINTED FAUX METAL EXPOSED BEAM
BR2. BRICK, RUNNING BOND	GR1. POWDERCOATED METAL GUARDRAIL
SN1. STONE VENEER	

scale



north

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of
34

NOTE:
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BUILDING MATERIAL PALETTE ARE ELIGIBLE FOR USE
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delo Final Planned Unit Development Phase 2

Downtown East Louisville

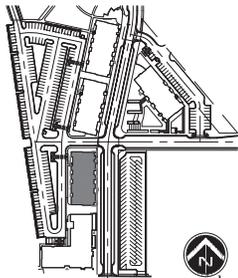
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DELO BUILDING C - SOUTH ELEVATION
1/8" = 1'-0"



DELO BUILDING C - WEST ELEVATION
1/8" = 1'-0"



KEY PLAN

DELO PHASE II BUILDING MATERIAL PALETTE

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	MS4. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL		ST1. ALUMINUM STOREFRONT SYSTEM
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	BR2. BRICK, RUNNING BOND		GR1. POWDERCOATED METAL GUARDRAIL
	SN1. STONE VENEER		

NOTE:
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scale



north

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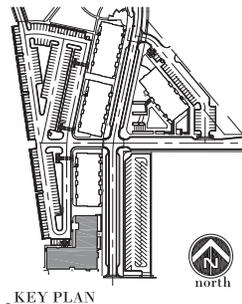
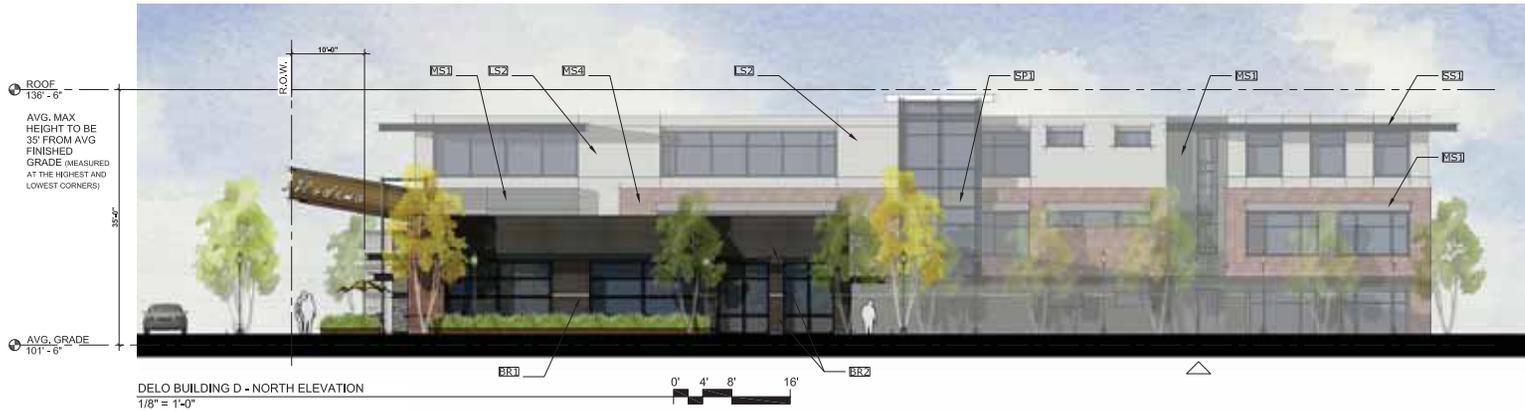
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de|lo Final Planned Unit Development Phase 2

Downtown East, Louisville

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City of Louisville, County of Boulder, State of Colorado



DELO PHASE II BUILDING MATERIAL PALETTE

- | | | | |
|--|--|--|--|
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| | SN1. STONE VENEER | | |



PERSPECTIVE

NOTE:
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scale

sheet title

Architectural Elevations

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owner's rep
RMCS
21 South Sunset Street
Longmont, CO 80503
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engineering
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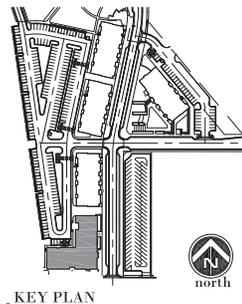
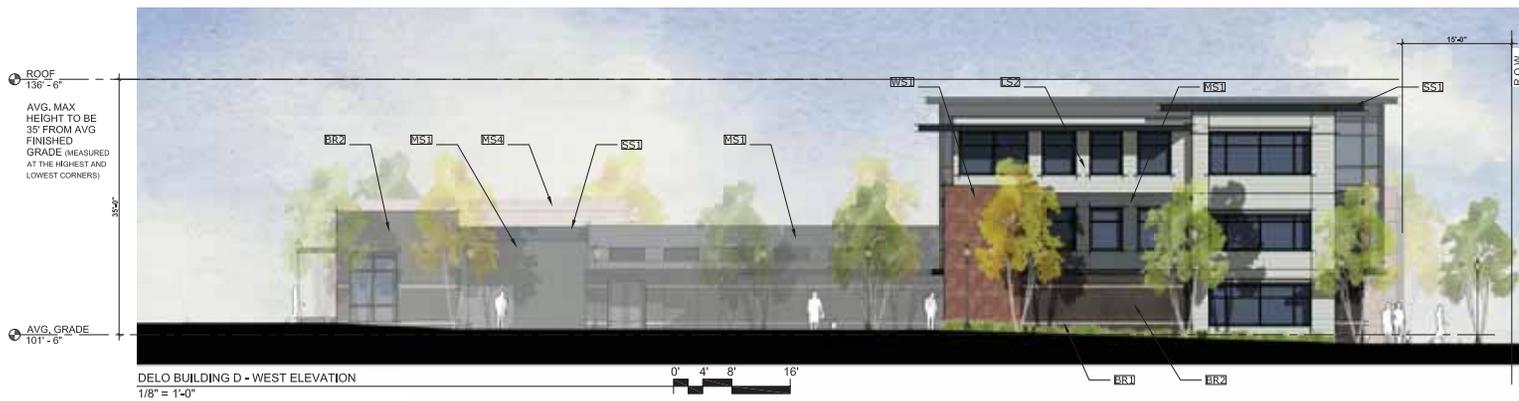
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deLo Final Planned Unit Development Phase 2

Downtown East of Louisville

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City of Louisville, County of Boulder, State of Colorado



DELO PHASE II BUILDING MATERIAL PALETTE

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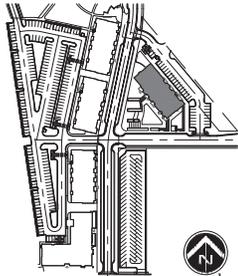
DELO BUILDING E - NORTH WEST ELEVATION
1/8" = 1'-0"



PERSPECTIVE



DELO BUILDING E - NORTH EAST ELEVATION
1/8" = 1'-0"



KEY PLAN

DELO PHASE II BUILDING MATERIAL PALETTE

LS1. CEMENT LAP SIDING OR STUCCO	SS1. STANDING SEAM METAL SIDING / ROOF
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SN1. STONE VENEER	

scale



north

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Final Planned Unit Development Phase 2

Downtown East Building

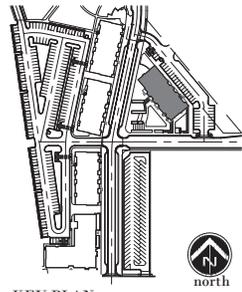
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DELO BUILDING E - SOUTH ELEVATION
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DELO BUILDING E - WEST ELEVATION
1/8" = 1'-0"



DELO PHASE II BUILDING MATERIAL PALETTE

- LS1. CEMENT LAP SIDING OR STUCCO
- LS2. CEMENT LAP SIDING OR STUCCO
- MS1. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL
- MS2. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL
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- MS4. VERTICAL OR HORIZONTAL CORRUGATED METAL SIDING OR METAL PANEL
- WS1. HORIZONTAL TONGUE AND GROOVE WOOD RAINSCREEN
- BR1. BRICK, RUNNING BOND
- BR2. BRICK, RUNNING BOND
- SN1. STONE VENEER
- SS1. STANDING SEAM METAL SIDING / ROOF
- SS2. STANDING SEAM METAL SIDING / ROOF
- W01. ALUMINUM CLAD WINDOW FRAME
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de|lo Final Planned Unit Development Phase 2

Downtown East Louisville

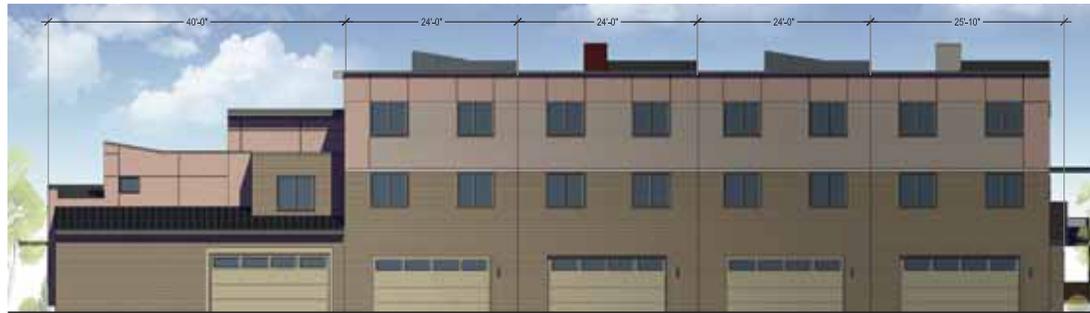
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FRONT ELEVATION



SIDE STREET / MEWS ELEVATION I



ALLEY ELEVATION



SIDE STREET / MEWS ELEVATION I



PERSPECTIVE

NOTE:
ARCHITECTURAL ILLUSTRATIONS FOR THE TOWNHOME
PRODUCT ARE PER PREVIOUS APPROVED SUBMITTALS
ASSOCIATED WITH THIS PRODUCT TYPE.



north

sheet title
**Architectural
Elevations**

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Denver, CO 80265
tel (303) 531-4905
www.pcsgroupco.com

owner's rep

BMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

designed by: SA drawn by: KLM

checked by: PMS project #: 030009

engineering

**ENGINEERING
CONSULTANTS**
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
fx: (303) 368-5603

architecture

kgastudio
ARCHITECTS
2850 South Street, Suite 202, Englewood, CO 80152
p: (303) 441-0462 f: (303) 441-0464
www.kgastudio.com

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de|lo Final Planned Unit Development Phase 2

Downtown East Louisville

A part of section 8, township 1 south, range 69 west of the 6th p.m.
City of Louisville, County of Boulder, State of Colorado



1 East Lafayette Lane (Private)
Not to Scale



3 Cannon Street (Apartments/Condominiums)
Not to Scale



- NOTES:**
1. ALL STREET TREES DEPICTED ON THE TYPICAL SECTIONS ARE ILLUSTRATIVE ONLY. PLEASE REFERENCE LANDSCAPING SHEETS FOR ALL LANDSCAPE LOCATIONS.
 2. ACCESS IS GRANTED OVER AND ACROSS ALL PAVED AREAS FOR EMERGENCY, PUBLIC AND PRIVATE VEHICULAR ACCESS, VIA THE PLAT.



2 Short Street (Public)
Not to Scale



4 Private Parking (Apartments/Condominiums)
Not to Scale



1" = 60'
scale



sheet title
Street Sections

submittal

no	date	description
1	08-15-2014	initial submittal
2	11-21-2014	second submittal
3	02-02-2015	third submittal

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checked by: JDM project #: 030017

planning & la
people creating spaces
pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80205
tel (303) 531-4705
www.pcsgruopco.com

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RMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

engineering
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11101 W. 120th Ave. Ste 240
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ph: (303) 368-5601
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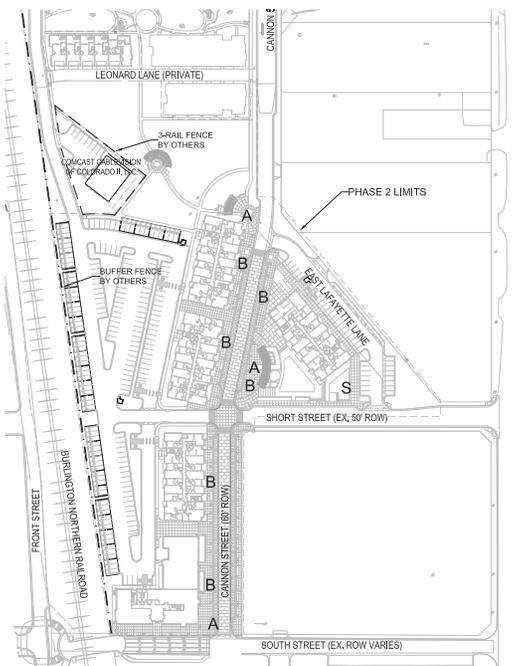
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3003 Larimer Street
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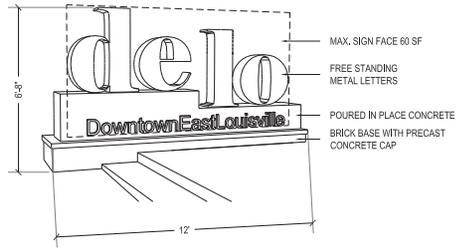
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DowntownEastLouisville
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City of Louisville, County of Boulder, State of Colorado

- KEY**
- S MONUMENT SIGN
 - A PUBLIC ART LOCATION (BY CITY OF LOUISVILLE)
 - B BICYCLE RACK
 - BUFFER FENCE BY OTHERS
 - 3 RAIL FENCE BY OTHERS
 - ▭ CARPORT
 - o TRASH ENCLOSURE



1 SITE ELEMENTS DIAGRAM
SCALE: 1"=100'

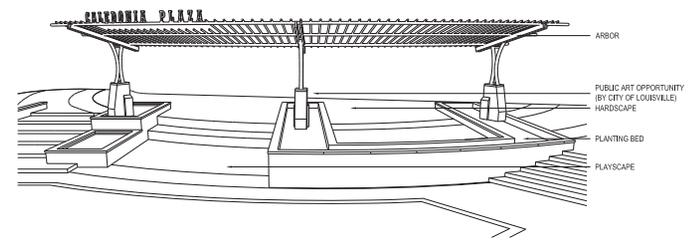


2 ENTRY MONUMENTATION
SCALE: NTS
PERSPECTIVE SKETCH

SIGNAGE DESCRIPTION
TO PROVIDE A CLEAR IDENTIFICATION OF PROPOSED BUSINESSES, BUILDINGS, AND THE COMMUNITY BY ADDING VISUAL INTEREST, WAYFINDING AND ENHANCING THE CHARACTER OF THE SITE, DE LO PROPOSES USING HIGH QUALITY AND DURABLE MATERIALS THAT ARE APPROPRIATE FOR AN URBAN SETTING.

DESIGN NOTES & STANDARDS

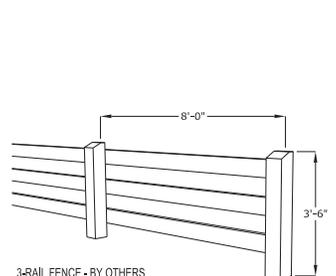
- BUILDINGS SHALL HAVE LOCATIONS ON THE COMMERCIAL AREAS OF THE FACADE THAT ARE SPECIFICALLY DESIGNED TO ACCOMMODATE CHANGEABLE TENANT SIGNAGE INCLUDING WALL SIGNS, PROJECTING SIGNS AND WINDOW SIGNS.
- STRUCTURE, MATERIALS, DETAILING AND POWER SOURCES SHALL BE PROPOSED WITH CONSIDERATION OF SIGNAGE INSTALLATION REQUIREMENTS AND SHALL BE READILY ADAPTABLE AND REPAIRABLE AS TENANT SIGNAGE NEEDS CHANGING.
- LOCATIONS FOR COMMUNITY MONUMENTATION AND ILLUMINATED SIGNAGE SHALL BE ORIENTED TO THE PUBLIC RIGHT-OF-WAY AND SHALL AVOID FACING RESIDENTIAL USES WHEREVER POSSIBLE.
- ORIENTATION OF ANY ILLUMINATED SIGN OR LIGHT SOURCE SHALL BE DIRECTED OR SHIELDED TO REDUCE LIGHT TRESPASS AND GLARE.
- SMALL-SCALE SIGNS PROJECTING FROM THE BUILDING FACE, PERPENDICULAR TO THE PUBLIC RIGHT-OF-WAY, SHALL BE CONSIDERED APPROPRIATE IN PEDESTRIAN AREAS.
- STREET LIGHTING SHOULD BE DESIGNED TO INCORPORATE BANNERS, BANNERS CAN BE USED TO PROMOTE SPECIAL EVENTS THROUGHOUT DE LO
- SIGNS SHOULD CREATIVELY USE TWO AND THREE-DIMENSIONAL FORM, PROFILE, AND ICONOGRAPHIC REPRESENTATION (E.G. LIGHTING, TYPOGRAPHY, COLOR, AND MATERIALS) IN EXPRESSING THE CHARACTER OF THE USE, THE IDENTITY OF THE DEVELOPMENT, THE CHARACTER OF THE NEIGHBORHOOD, AND THE ARCHITECTURE OF THE BUILDING.
- SIGNS SHOULD FIT WITHIN THE ARCHITECTURAL FEATURES OF THE FACADE AND COMPLEMENT THE BUILDING'S ARCHITECTURE.
- SIGNS SHOULD NOT OVERLAP AND CONCEAL ARCHITECTURAL ELEMENTS.
- INDIRECT AND EXTERNAL LIGHT SOURCES SHALL BE THE PREFERRED OPTION WHERE LIGHTING IS REQUIRED.
- SIGNS SHOULD BE ORGANIZED ON BUILDINGS SO AS TO NOT VISUALLY CLUTTER THE STREETScape.
- THE SELECTIVE USE OF NEON SIGNAGE IS ALLOWED AND SHOULD BE USED IN LIMITED VOLUME TO ENSURE THAT THEY DO NOT BECOME VISUALLY OBTRUSIVE AND DOMINATE THE STREET FRONTAGE. THIS COULD COME IN THE FORM OF MULTI-COLORED TUBE-FORM LIGHT WITH EXPOSED TUBES, WHERE TUBING IS VISIBLE ATOP A SIGN, OR FORMS LETTERS IN THE SIGN, OR INDIRECT WHERE TUBES ILLUMINATE PAINTED OR OTHER DECORATIVE SURFACES.



3 PUBLIC SPACE
SCALE: NTS
PERSPECTIVE SKETCH

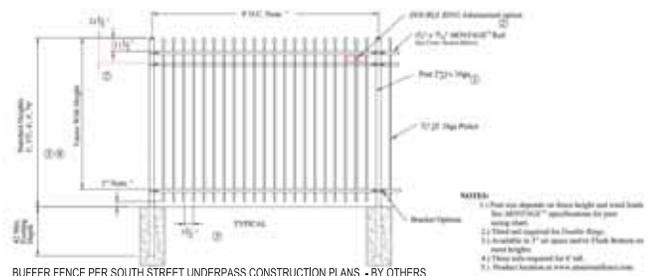
PEDESTRIAN SPACES DESCRIPTION
THE PROJECT ANTICIPATES A PLAZA AREA AT THE INTERSECTION OF CANNON STREET AND SHORT STREET AT THE PRIMARY ENTRY INTO THE PROJECT OFF OF HWY 42. THE PLANTING IS ANTICIPATED TO BE OF AN URBAN NATURE, AND THE OVERALL DESIGN IS LIKELY TO INCLUDE INTERPRETIVE DISPLAYS, BENCHES, SITE FURNITURE, AND IRRIGATED PLANTINGS. THE SECOND PRIMARY PUBLIC PEDESTRIAN EXPERIENCE IS THE PROPOSED UNDERPASS AT SOUTH STREET. THE PROMENADE WILL PROVIDE A CLEAR AND ENJOYABLE PEDESTRIAN LINK TO THE SOUTHERN PORTION OF THE PROJECT. ITS ANTICIPATED TO HAVE MORE RETAIL USES IN THIS AREA WHICH PROPOSED RESTAURANTS AND BOUTIQUE SHOPS CAN TAKE ADVANTAGE OF.

- NOTES & STANDARDS**
- TO PROVIDE OPEN SPACES SUCH AS PLAZAS AND PUBLICLY ACCESSIBLE COURTYARDS, OR PROMENADES THAT SERVE AS AREAS FOR RELAXATION, COMMUNITY INTERACTION AND CREATE VARIETY AND INTEREST IN THE PEDESTRIAN REALM.
 - TO INTRODUCE ELEMENTS OF NATURE INTO THE URBAN ENVIRONMENT.
 - TO ALLOW FOR ADDITIONAL SPACE ADJACENT TO BUILDINGS TO ACCOMMODATE SPECIAL AMENITIES SUCH AS CAFE SEATING, SCULPTURE AND PLANTERS
 - TO PROVIDE ORGANIZING FEATURES FOR GROUPS OF BUILDINGS.
 - TO ESTABLISH LINKS IN A SYSTEM OF COMMON AREAS WITHIN AND OUTSIDE OF THE SITE DESIGN.
 - DESIGN OF PLAZAS, PUBLICLY-ACCESSIBLE COURTYARDS AND EXPANDED SIDEWALKS SHALL TAKE INTO CONSIDERATION EASE OF MAINTENANCE AND SNOW REMOVAL.
 - SPECIALTY ITEMS WITHIN CITY OWNED OR MAINTAINED PROPERTY THAT REQUIRE CUSTOM FABRICATION MAY BE SUBSTITUTED OR REPLACED AT THE CITY'S DISCRETION.



4 FENCING CONCEPTS - BY OTHERS
SCALE: NTS

NOTE:
ENTRY MONUMENTS, PROJECT IDENTITY AND SITE DETAILS INCLUDING FENCING, CARPORT AND ARBORS ARE CONCEPTUAL IN NATURE, FINAL DESIGN DETAILS TO BE PROVIDED DURING CONSTRUCTION DOCUMENTS.



BUFFER FENCE PER SOUTH STREET UNDERPASS CONSTRUCTION PLANS - BY OTHERS

SCREENING & FENCING
SCREENING AND BUFFERING AREAS BETWEEN SERVICE AREAS AND PLAZAS, STREETScaPES, PEDESTRIAN CORRIDORS AND PARKS, WILL AID TO THE AESTHETICS OF THE COMMUNITY.

- DESIGN NOTES & STANDARDS**
- PROPOSED FENCING SHALL NOT ADVERSELY AFFECT THE MAINTENANCE OF CITY FACILITIES.
 - FENCING ALONG THE PROPERTY BOUNDARY SHOULD BE ALLOWED IF NEEDED TO AID IN THE SEPARATION AND PROTECTION OF ADJACENT USES.
 - DETAILED LOCATIONS FOR FENCES WILL BE FINALIZED WITHIN THE CONSTRUCTION DOCUMENTS
 - THE FENCE DESIGN ALONG THE BURLINGTON NORTHERN ROW SHALL BE CONSISTENT AND IN THE SAME VERNACULAR WITH THAT RAIL FENCE SELECTED IN THE FINAL DESIGN OF THE HIGHWAY 42 GATEWAY STUDY AND WILL NOT BE AN EXPENSE OF THE DEVELOPER.



north

sheet title
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planning & la
creating spaces
pcs group, inc.
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Denver, CO 80265
tel (303) 531-4905
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Broomfield, CO 80021
ph:(303) 368-5601
fx:(303) 368-5603

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ARCHITECTURE
3003 Larimer Street
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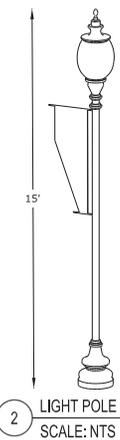
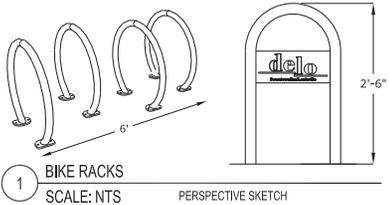
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SITE DETAILS AND FURNISHINGS - KIT OF PARTS

THE SITE FURNITURE IN DELO SHALL BE CONSISTENT WITH THAT OF THE SITE FURNITURE IN DOWNTOWN LOUISVILLE.

THE DEVELOPMENT OF THIS PROMINENT SITE WILL SERVE TO STRENGTHEN AND UNIFY THE SURROUNDING AREA. LIGHTING, STREET FURNISHINGS, PLANTERS, TREE GRATES, ETC. WILL ENHANCE AND UNIFY THE OVERALL PROJECT, CONTRIBUTING TO THE SENSE OF PLACE AND OVERALL CHARACTER. THE INTENT IS TO BENEFIT ALL USERS WITH A THEMATIC, WELL LIT, SAFE AND PLEASANT ENVIRONMENT. A KIT-OF-PARTS HAS BEEN DEVELOPED AS A STARTING POINT FOR THE DESIGN OF THE STREET FURNISHINGS WITHIN THE THE STREETScape AND PUBLIC AREAS AND WILL HELP TO GUIDE THE SITE PLANNING PROCESS WHICH FOLLOWS THIS DOCUMENT. THE FURNISHINGS BEING SHOWN ARE INTENDED TO PORTRAY THE CHARACTER AND QUALITY FOR DELO'S STREETScape.

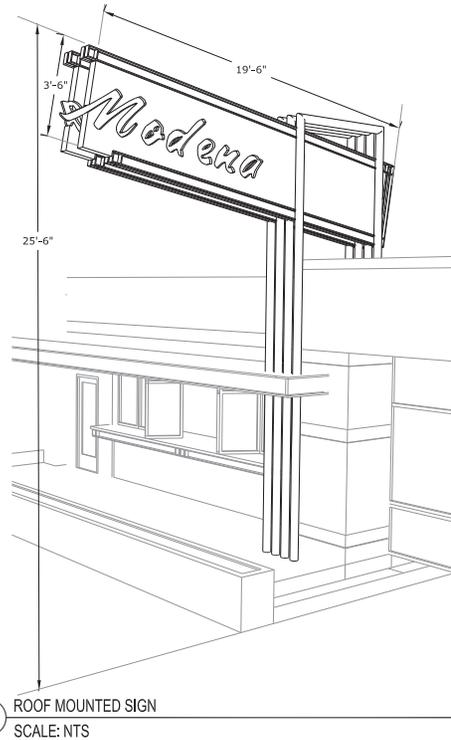
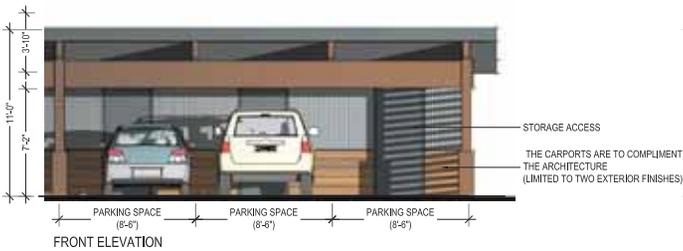
SITE DETAILS AND FURNISHINGS ARE ENCOURAGED TO BE CATALOG ITEMS TO FACILITATE EFFICIENT AND COST EFFECTIVE REPLACEMENT BY THE CITY WHEN NECESSARY



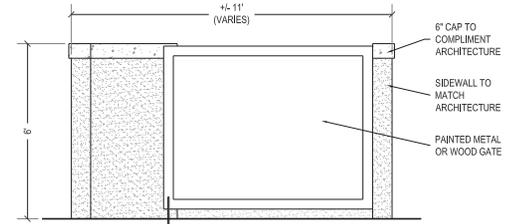
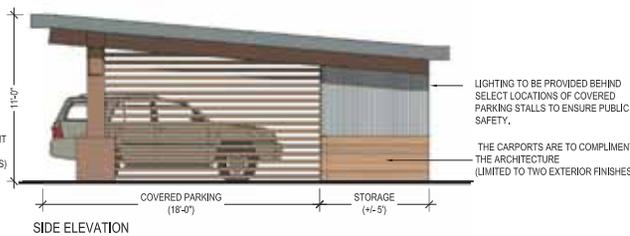
LIGHTING DESCRIPTION
LIGHTING IS COMPRISED OF THE FOLLOWING CATEGORIES: PARKING LOT LIGHTING, STREET LIGHTING, BUILDING LIGHTING, PLAZA/PEDESTRIAN LIGHTING AND LANDSCAPE LIGHTING. LIGHTING SHALL CONSIST OF QUALITY FIXTURES THAT ARE BOTH APPEALING AND PROVIDE SAFETY FOR BOTH PEDESTRIANS AND AUTOMOBILES. LIGHTING SHALL COMPLIMENT THE BUILDING ARCHITECTURE, SIGNAGE, PARKING, LANDSCAPING AND PLAZA DESIGNS. FIXTURES ARE TO BE USED THAT REDUCE GLARE AND MINIMIZE IMPACT TO SURROUNDING PROPERTIES.

DESIGN NOTES & STANDARDS

- PARKING LOT LIGHTING IS TO BE OF A ZERO CUTOFF TYPE AND BE NO TALLER THAN 25 FEET IN HEIGHT. THE FIXTURES ARE TO BE IN THE STYLE, TYPE AND COLOR THAT COMPLIMENT THE ARCHITECTURE AND CHARACTER OF THE PROJECT.
- STREET LIGHTING IS TO BE ZERO OR PARTIAL CUTOFF TYPE AND BE NO TALLER THAN 15 FEET IN HEIGHT AND MATCH THE CHARACTER OF OLD TOWN'S LIGHT FIXTURES.
- BUILDING MOUNTED LIGHTING IS ENCOURAGED TO ENHANCE THE ADJACENT SIDEWALKS AS WELL AS THE ARCHITECTURE ITSELF. LIGHTING MAY BE USED TO ENHANCE IMPORTANT ARCHITECTURAL FEATURES OF THE BUILDING IT SERVES.
- LANDSCAPE LIGHTING IS TO ENHANCE THE LANDSCAPE FEATURE IT SERVES, AS WELL AS TO FURTHER ENHANCE THE SAFETY OF THE PEDESTRIAN AREA.
- SIGNAGE LIGHTING: SEE SIGNAGE NOTES UNDER THE ENTRY MONUMENT DESIGN NOTES & STANDARDS.



NOTE:
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THE ROOF MOUNTED SIGN WITHIN DELO IS PROPOSED TO BE AN ICONIC SIGN AND SHALL EVOKE A SENSE OF QUALITY AND UNIQUE VISUAL APPEARANCES. IT MAY, OR MAY NOT, HAVE HISTORIC SIGNIFICANCE AS LONG AS:

- THE SIGN, BY ITS DESIGN, CONSTRUCTION AND LOCATION, WILL NOT HAVE A SUBSTANTIAL ADVERSE EFFECT ON ADJUTING PROPERTY OR THE PERMITTED USE THEREOF, AND WILL CONTRIBUTE TO THE CITY'S UNIQUE CHARACTER AND QUALITY OF LIFE.
- THE SIGN EXHIBITS UNIQUE OR RARE CHARACTERISTIC THAT ENHANCE THE STREETScape OR IDENTIFY DOWNTOWN LOUISVILLE AND IT CLEARLY PROVIDES A UNIQUE ARCHITECTURAL STYLE AND APPEARANCE.
- THE SIGN CONTRIBUTES TO THE CULTURAL CHARACTER OF THE STREETScape OR THE COMMUNITY AT LARGE.
- THE SIGN AND ALL PARTS, PORTIONS, AND MATERIALS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR. THE DISPLAY SURFACE OF ALL SIGNS SHALL BE KEPT CLEAN, NEATLY PAINTED, AND FREE FROM RUST AND CORROSION. THE MAXIMUM COPY AREA FOR THE COMBINATION OF ANY WALL, MARQUEE, AWNING/CANOPY, ROOF AND FREE STANDING SIGNS IS TWO (2) SQUARE FEET (SF) OF SIGN AREA FOR EVERY ONE (1) LINEAR FOOT OF PRIMARY FRONTAGE PLUS ONE (1) SF OF SIGN AREA FOR EVERY ONE (1) LINEAR FOOT OF SECONDARY FRONTAGE FOR CORNER LOTS, OR PARCELS ADJOINING A PARK SPACE, CIVIC PLAZA, OR DESIGNATED WALKWAY. ILLUMINATION SHALL BE ALLOWED PER THE DOWNTOWN LOUISVILLE SIGN MANUAL AND SHALL INCLUDE:
 - NEON LIGHTING
 - REVERSE CHANNEL / HALO LIGHTING
 - INDIRECT LIGHTING



north

sheet title

Site Details

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1	08-15-2014	initial submittal
2	11-21-2014	second submittal
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designed by: SA drawn by: KLM
checked by: PMS project #: 030009

planning & la

pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80265
tel (303) 531-4905
www.pcsgruopco.com

owner's rep

BMCS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

engineering

ENGINEERING CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph:(303) 368-5601
fx:(303) 368-5603

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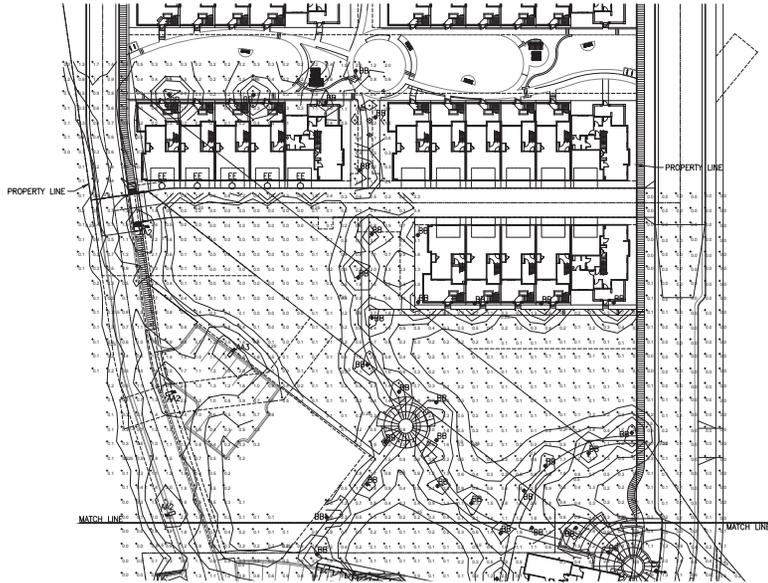
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Denver, CO 80205
ph:(303) 861-5704
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31 of 34

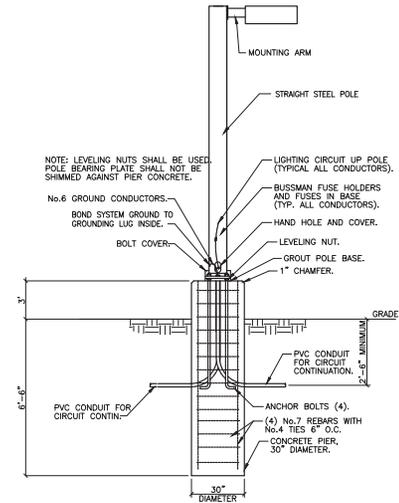
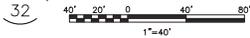


Final Planned Unit Development Phase 2

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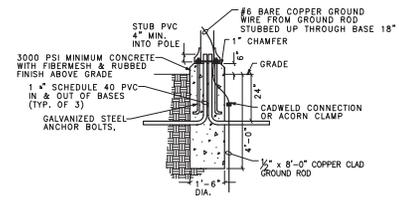


1 Site Photometric Plan



2 TALL POLE DETAIL

32 N.T.S.



3 SHORT POLE DETAIL

32 N.T.S.



sheet title

Site Photometric Plan

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planning & la
people creating spaces
pcs group, inc.
1001 16th street, 3B-180
Denver, CO 80265
tel (303) 531-4905
www.pcsgroupco.com

owner's rep
RAICS
21 South Sunset Street
Longmont, CO 80503
Phone: 720.524.3620

FGIVEN
& ASSOCIATES INC.
735 S. Xenon Ct. #201
Lakewood, Colorado 80228
Ph. 303.716.1270
Fax. 303.716.1272
www.givenandassociates.com

engineering
CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
ph: (303) 368-5601
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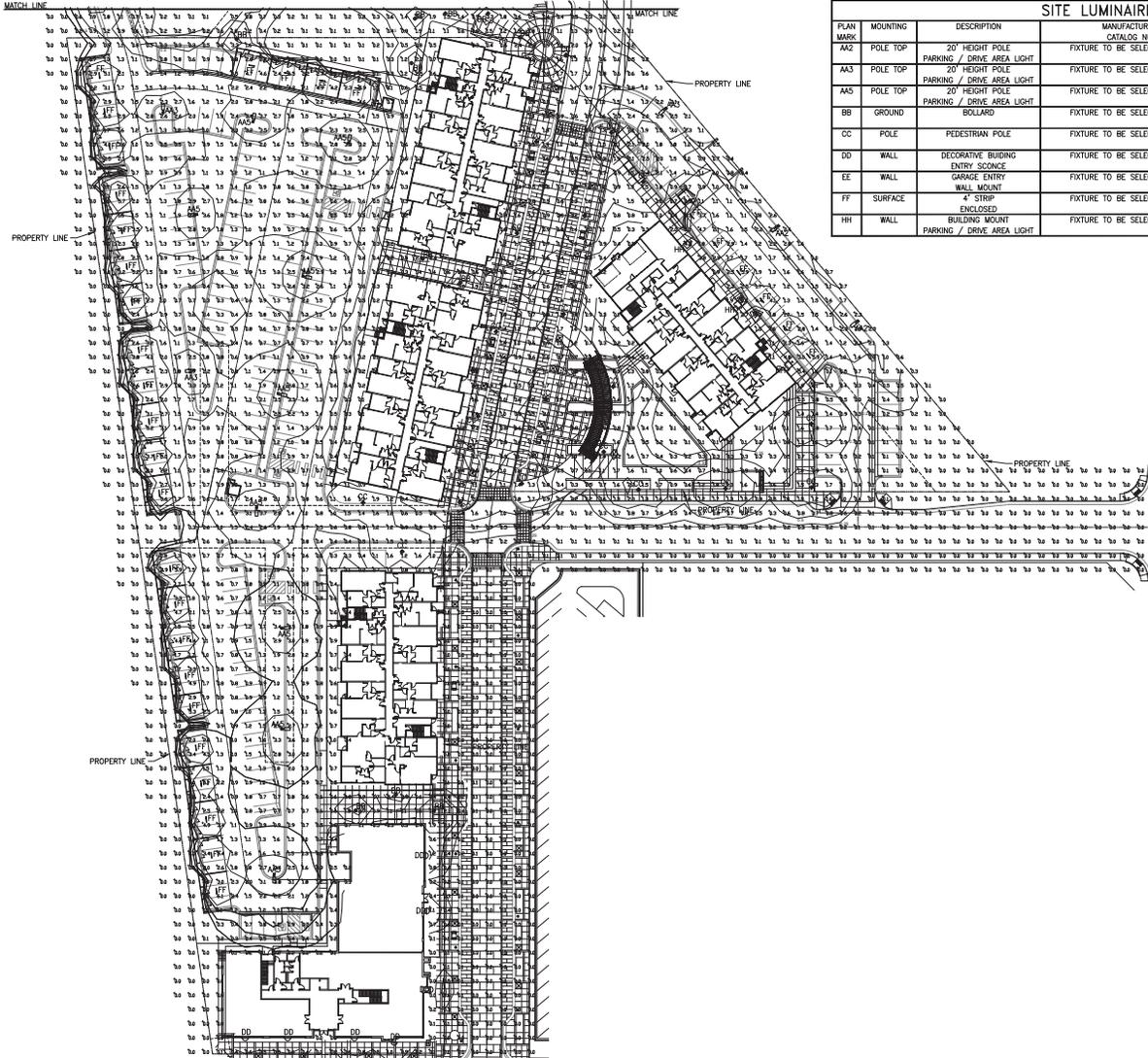
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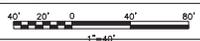
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MATCH LINE, SEE SHEET 22 FOR CONTINUATION



SITE LUMINAIRE SCHEDULE											
PLAN MARK	MOUNTING	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTAGE	NO. OF LAMPS	LAMP TYPE	INITIAL LUMENS	CONTROLS	MOUNTING / POLE HEIGHT	FULL CUT OFF	REMARKS
AA2	POLE TOP	20' HEIGHT POLE PARKING / DRIVE AREA LIGHT	FIXTURE TO BE SELECTED BY OWNER	208	1	150W MH	14000	PHOTOCCELL	20'	YES	HOUSESIDE SHIELD STRAIT STEEL ROUND
AA3	POLE TOP	20' HEIGHT POLE PARKING / DRIVE AREA LIGHT	FIXTURE TO BE SELECTED BY OWNER	208	1	150W MH	14000	PHOTOCCELL	20'	YES	HOUSESIDE SHIELD STRAIT STEEL ROUND
AA5	POLE TOP	20' HEIGHT POLE PARKING / DRIVE AREA LIGHT	FIXTURE TO BE SELECTED BY OWNER	208	1	150W MH	14000	PHOTOCCELL	20'	YES	HOUSESIDE SHIELD STRAIT STEEL ROUND
BB	GROUND	BOLLARD	FIXTURE TO BE SELECTED BY OWNER	208	1	70W MH	5300	PHOTOCCELL	4'	YES	
CC	POLE	PEDESTRIAN POLE	FIXTURE TO BE SELECTED BY OWNER	208	1	70W MH	5300	PHOTOCCELL	12'	YES	STRAIT STEEL ROUND
DD	WALL	DECORATIVE BUILDING ENTRY SCENE	FIXTURE TO BE SELECTED BY OWNER	120	2	26W CFL	3600	PHOTOCCELL	8'	YES	
EE	WALL	GARAGE ENTRY WALL MOUNT	FIXTURE TO BE SELECTED BY OWNER	120	1	26W CFL	1800	PHOTOCCELL	9'	YES	ABOVE GARAGE
FF	SURFACE	4' STRIP ENCLOSED	FIXTURE TO BE SELECTED BY OWNER	208	1	32W T8	3050	PHOTOCCELL	9'	NO	UNDER COVERED PARKING
HH	WALL	BUILDING MOUNT PARKING / DRIVE AREA LIGHT	FIXTURE TO BE SELECTED BY OWNER	120	1	70W MH	5200	PHOTOCCELL	10'	YES	

1 Site Photometric Plan
33



sheet title

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ARCHITECTURAL, ELECTRICAL, MECHANICAL
735 S. Xenon Ct. #201
Lakewood, Colorado 80228
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Fax: 303.716.1272
www.givenandassociates.com
project # 144106

engineering
CONSULTANTS
Contact: Jason D. Margraf, PE
11101 W. 120th Ave, Ste 240
Broomfield, CO 80021
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north

sheet title Character Sketches

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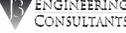
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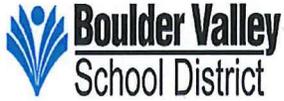
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Denver, CO 80205
ph: (303) 861-5704
WWW.OZarch.com

sheet
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of
34



Planning Office
 303-245-5794
 Fax: 303-447-5118
www.bvbsd.org

6500 East Arapahoe, PO Box 9011
 Boulder, CO 80301

January 20, 2015

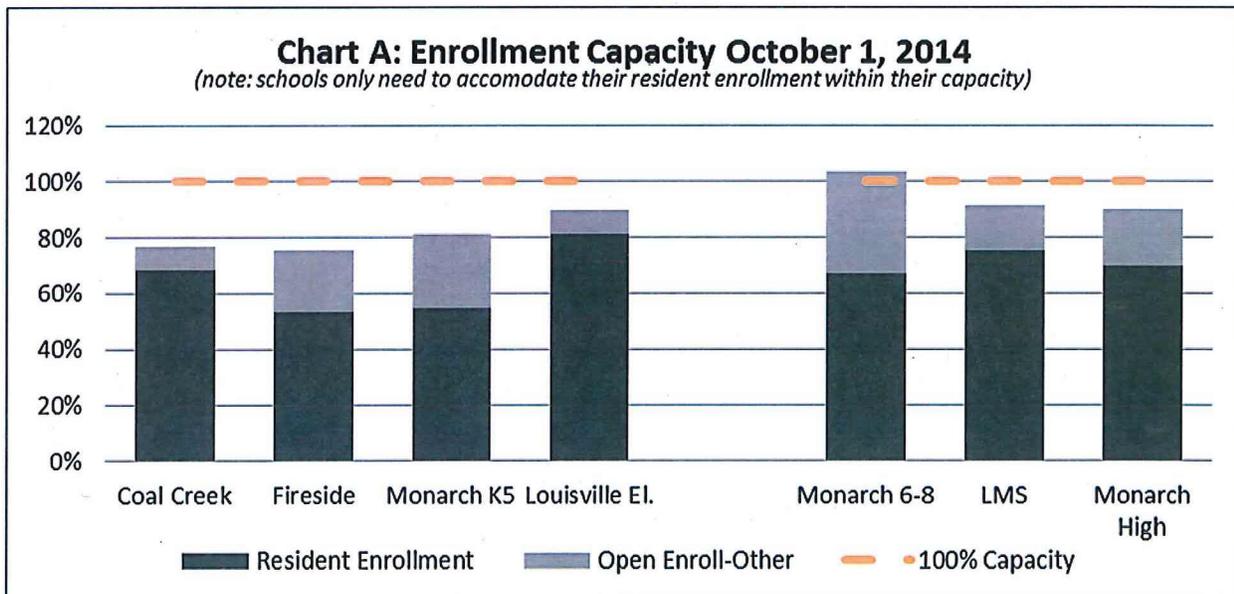
City of Louisville
 Dept. of Planning and Building Safety
 Attn: Sean McCartney
 749 Main St.
 Louisville, CO 80027

RE: DELO Phase 2 FDP (revision 2)

Dear Sean:

Thank you for submitting DELO Phase 2 FDP revision 2 materials for review by the Boulder Valley School District (BVSD). BVSD reviews development application in terms of capacity impacts on neighborhood schools and impacts on school land or facilities.

Chart A below shows the current program capacity and enrollment composition for each school in Louisville. On the whole, Louisville schools possess a sizeable ability to accommodate additional students, particularly when considering the level of current capacity being occupied by open enrolled students (those from outside a school's attendance area that a school is not required to accommodate). As the chart shows, however, the capacity to accommodate additional students does vary between schools.



The revised DELO Phase 2 FDP application proposes to add 130 apartment and 5 townhome units with an anticipated student impact of 13 students on Louisville Elementary, 4 students on Louisville Middle, and 5 students on Monarch High school feeder.

When considering DELO Phase 2 FDP, all other development activity in Louisville (Attachment A), and resident enrollment growth within the attendance areas of Louisville schools, Louisville Middle and Monarch High are able to accommodate projected growth (Chart B). Louisville Elementary, however, will likely exceed its program capacity within 5 years should growth within the existing housing stock of central Louisville continue at its current pace. Elementary capacity in Louisville as a whole, however, is ample to accommodate continued enrollment growth.

CHART B

School	Capacity	Enrollment 2014-15	Projected Enrollment				
			2015-16	2016-17	2017-18	2018-19	2019-20
Louisville El.	648	584	589	629	652	677	697
% Capacity		90.1%	90.1%	97.0%	100.6%	103.0%	107.6%
Louisville M.S.	691	632	639	643	661	669	675
% Capacity		91.5%	92.4%	93.1%	95.7%	96.8%	97.7%
Monarch H.S.	1833	1,663	1,684	1,726	1,792	1,802	1,800
% Capacity		90.7%	91.9%	94.2%	97.8%	98.3%	98.2%

Projection notes and assumptions:

- Capacity methodology held over from 2012 and currently under review.
- Enrollment numbers and projections are preliminary for 2014 and subject to change. Preliminary projections may not contain consideration of all relevant data.
- Only the impacts of housing units expected during projection period are included.
- Enrollment growth in existing neighborhoods is assumed to be near current levels over the next 5 years.
- Louisville El. will graduate out the last significant number of open enrolled (O.E.) students in 2018.
- Louisville Middle and Monarch High will see increasing restrictions on O.E. through the projections period but will still retain sizeable O.E. populations in 5 years.

Recent enrollment growth at Louisville Elementary continues to be managed by restricting open enrollment thus reducing the proportion of enrollment from outside the school's attendance area. In addition, the preschool program at the school has been relocated to Fireside Elementary in the 2014-15 school year and the current computer lab space has been converted for classroom use. At present, approximately 48 open enrolled students occupy seats at the school and continued restrictions will eventually make these seats available to new resident students. Should actual enrollment growth meet or exceed projected growth and open enrollment restrictions alone prove inadequate, other options to manage enrollment growth may be considered by the District. These could include additional changes in offered programming, the addition of portable classrooms, the addition of permanent classrooms, busing of students, or changes to attendance boundaries.

If you have any other questions, concerns, or further clarifications, feel free to contact me at 303-245-5794 or via e-mail at glen.segrue@bvsd.org.

Sincerely,



Glen Segrue, A.I.C.P.
Senior Planner

ATTACHMENT A: Planned Residential Development and Student Yield

Monarch High Feeder Schools

ELEM Att. Area	Unbuilt Residential Units*						Elem Yld	MS Yld	HS Yld
	SFD	Dup	Twnhm	Condo	Apt	All			
Coal Creek									
Platted or Under Construction									
Village Square	0	0	0	0	111	111	10	3	4
	0	0	0	0	111	111	10	3	4
Eldorado K-5									
Platted or Under Construction									
CALMANTE	33	0	0	0	0	33	10	5	7
	33	0	0	0	0	33	10	5	7
Louisville El.									
Platted or Under Construction									
917 Main St	0	2	0	0	0	2	0	0	0
Blue Sage	51	0	0	0	0	51	15	8	10
Coal Creek Station	0	51	0	0	0	51	10	4	4
Concord Partners LLC	6	0	0	0	0	6	2	1	1
DELO	0	0	60	0	130	190	12	7	10
North End	13	22	0	52	0	87	11	5	10
North End Phase II	29	0	6	36	0	71	11	5	10
Parbois Place	2	2	0	0	0	4	1	0	1
Steel Ranch South	0	0	29	0	0	29	0	1	2
The Lanterns	0	24	0	0	0	24	5	2	2
In Development Review									
Alkonis	24	0	0	0	139	163	19	8	10
North End Phase II	0	0	0	37	0	37	2	1	4
North End Phase III	28	0	0	0	0	28	8	4	6
	153	101	95	125	269	743	96	46	70
Monarch K-5									
Platted or Under Construction									
Coal Creek Crossing	53	0	0	0	0	53	15	8	11
Discover Office Park	0	0	23	0	0	23	0	1	2
Superior Town Center	0	0	643	0	0	643	8	32	51
In Development Review									
Superior Town Center	179	201	0	356	0	736	111	50	87
Varra Estates	11	0	0	0	0	11	3	2	2
	243	201	666	356	0	1,466	138	93	154
	429	302	761	481	380	2,353	254	148	234

*lots unbuilt as indicated in parcel records as of 12/01/13 and periodic site inspections

Sean McCartney

From: Chris Mestas <CMestas@louisvillefire.com>
Sent: Tuesday, February 03, 2015 7:42 AM
To: Sean McCartney
Subject: Delo Phase 2

Sean-

I have met with Jason Margraf regarding the Delo Phase-2 fire district comments. I have reviewed their corrections and they have satisfied the districts requests. Let me know if you need anything else from me.

Chris Mestas

Fire Marshal

Louisville Fire Protection District

895 West Via Appia

Louisville CO, 80027

303-666-6595 ext.104

cmestas@louisvillefire.com



This email and the attached documents (if any) are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message and the accompanying documents is not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and fully delete the original message and any accompanying documents. Thank you.

December 8, 2014

Justin McClure
Takoda Properties Inc.
21 South Sunset Street
Longmont, CO 80503

Re: Non-Binding Letter of Intent for sale of portion of property located at 1055 E. Lafayette in Louisville, CO

Dear Mr. McClure:

This letter ("Letter of Intent") is a non-binding expression of the basic terms and conditions we propose for the sale and purchase of the Property described below, which may be incorporated into a binding purchase and sale agreement (the "Purchase and Sale Agreement").

1. Seller. Comcast of Colorado I, LLC, f/k/a AT&T Broadband of Northern Colorado I, LLC, f/k/a Comcast Cablevision of Colorado I, LLC, a Colorado limited liability company, FEIN 23-3060748.
2. Buyer. Takoda Properties Inc. ("Takoda"), a Colorado corporation, FEIN 20-1476210.
3. Property. A portion of the property located in the City of Louisville and County of Boulder, State of Colorado, having a street address of 1055 E. Lafayette, said portion being as shown on Exhibit A attached hereto, the legal description of which shall be as agreed by Buyer and Seller once the Survey is completed. The deed from Seller to Buyer shall retain any and all perpetual easements that Seller deems necessary or desirable to continue to operate the Retained Property.
4. Survey. Within ten days after mutual execution and delivery of the Purchase and Sales Contract, Buyer, at Buyer's expense, shall deliver to Seller an ALTA survey (the "Survey") of the Property and of the balance of the property owned by Seller from which the Property is to be subdivided (the "Retained Property"), prepared by a surveyor registered in the State of Colorado and certified to Buyer, Seller, and Title Company. The Survey shall describe the Property's dimensions and the Retained Property's dimensions, and the location of any and all improvements, easements, including fiber and utility lines, rights-of-way and adjacent roadways on and/or to the Property and/or the Retained Property.
5. Purchase Price. \$50,000.00, which shall be paid by wire transfer at Closing, subject to applicable adjustments and prorations.
6. Deposit. \$25,000.00, payable to the Title Company as escrow agent upon mutual execution and delivery of the Purchase and Sale Agreement (together with any interest thereon, the "Deposit"). The Deposit shall be applied to the Purchase Price at Closing. If Buyer

exercises a termination right granted to it in the Purchase and Sale Agreement, the Deposit shall be returned to Buyer. If Buyer defaults under the Purchase and Sale Agreement, the Deposit shall be paid to Seller.

7. Investigation Period. Buyer shall have 45 days from the mutual execution and delivery of the Purchase and Sale Agreement to complete its due diligence with respect to the Property and to satisfy any other requirement Buyer may have with respect to this purchase (the "Investigation Period"). Buyer shall have the right to terminate the Purchase and Sale Agreement at any time prior to expiration of the Investigation Period, for any reason or no reason.

8. Preparation of Contract. After the mutual execution of this LOI, Seller will delivery to Takoda the first draft of the Purchase and Sale Agreement incorporating the terms outlined herein.

9. Subdivision. Buyer shall have ninety (90) days from the mutual execution and delivery of the Purchase and Sale Agreement to obtain all approvals required for the lawful subdivision of the Property from the Retained Property, at Buyer's sole expense. Seller shall cooperate reasonably with Buyer's efforts to obtain such permits and approvals, at Buyer's sole cost and expense whether or not Buyer succeeds in obtaining all such permits and approvals.

10. Closing. Closing on the purchase and sale shall occur within 30 days following the date the subdivision approvals are obtained.

11. Title Company. Fidelity National Title Insurance Company (the "Title Company"), acting through its office selected by Seller, shall be the title insurer and escrow holder for this transaction.

12. As-Is Condition. The Property shall be conveyed in its "as-is, where-is" condition, without representation or warranty by Seller.

13. Closing Documents. Title to the Property shall be conveyed by special warranty deed or its equivalent, subject only to title matters in effect upon expiration of the Investigation Period. Seller shall also deliver a FIRPTA certificate and a secretary's certificate in Seller's standard form.

14. Adjustments and Expenses. Apportionable expenses shall be pro rated as of the Closing date. Title, subdivision, and survey costs and any transfer taxes and recording fees payable with respect to the sale of the Property shall be paid by Buyer. Buyer shall be responsible for the fees and expenses of all attorneys and other consultants retained by it or by Seller in connection with this transaction, including but not limited to the fees and expenses of Seller's attorneys and other consultants in connecdtion with the negotiation of the Purchase and Sales Agreement and the subdivision of the Property, whether or not Closing occurs, except that Seller shall not responsible for the fees and expenses of Seller's attorneys and other consultants only if the Closing does not occur because of a Seller default under the Purchase and Sales Agreement.

15. Commissions. Each of Seller and Buyer shall represent in the Purchase and Sale Agreement that they have not dealt with any real estate broker or other finder with respect to this transaction other than M. Gregory Bante and David Welker of Jones Lang LaSalle Brokerage, Inc. (the "Broker"). Seller shall be responsible for any real estate commission due Broker in connection with the sale of the Property. Buyer will be responsible for any and all fees due to its broker representative(s) in connection with the sale of the Property.

16. Additional Terms

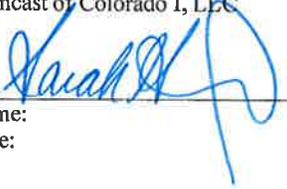
Buyer agrees to perform the following actions/improvements to the Retained Property within thirty (30) days after Closing, at Buyer's sole cost and expense, all to be more specifically addressed in the Purchase and Sales Agreement:

- a. Redirect and bury both the northwest and southeast Comcast fiber lines;
- b. Relocate and pave Comcast's parking lot. (DELO estimates that the proposed parking lot will cost approximately \$14,259; inclusive of earthwork, 30" curb and gutter, and 4" of asphalt paving.)
- c. Build a privacy fence (specifications to be determined by Comcast) surrounding Comcast's building and parking lot;
- d. Relocate the generator;
- e. Remove/relocate the tower;
- f. All other beautification projects on Comcast's property. A final list shall be included in the Purchase and Sale Agreement;
- g) Fund all private improvements associated with the proposal and in concert with the Louisville Revitalization Commission (Urban Renewal Authority).

17. Effect of Letter. This Letter of Intent is intended only as a non-binding outline of the major terms and conditions for the sale of the Property and, whether countersigned or not, is not a binding agreement by either party to buy or sell the Property. The obligations of Seller and Buyer to complete the transactions contemplated by this Letter of Intent are subject in all respects to negotiation and mutual execution and delivery of a binding Purchase and Sale Agreement, which shall be prepared by Seller on its standard form. As a result, neither party shall have any legal obligation or liability to the other party with respect to the matters set forth in this Letter of Intent unless and until a mutually agreed upon Purchase and Sale Agreement is fully executed and delivered by both parties. Each party agrees that it is proceeding at its sole cost and expense and that either party may terminate negotiations at anytime and for any or no reason without liability or obligation whatsoever. Neither party shall treat this Letter of Intent as a promise by the other. Neither party shall rely on this Letter of Intent to its detriment or make a claim of promissory estoppel based on this Letter of Intent. This Letter of Intent may be modified or withdrawn by either party at any time.

If the above terms and conditions are acceptable, please have Buyer execute this Letter of Intent where indicated and return it to my attention and Seller will submit a draft of the Purchase and Sale Agreement to you in due course.

Very truly yours,
Comcast of Colorado I, LLC

By: 
Name:
Title:

Accepted (non-binding):
Takoda Properties, Inc.

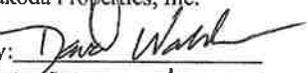
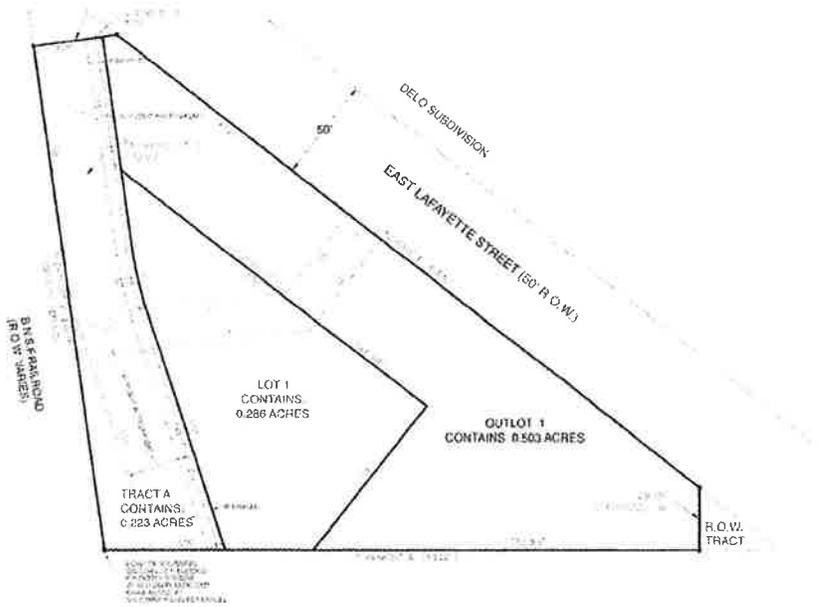
By: 
Name: DAVID WALDNER
Title: PRESIDENT
Date: 12.8.14

Exhibit A





LSC TRANSPORTATION CONSULTANTS, INC.

1889 York Street
Denver, CO 80206
(303) 333-1105
FAX (303) 333-1107
E-mail: lsc@lscdenver.com

November 3, 2014

Mr. Justin McClure
RMCS, LLC
950 Spruce Street, Suite 2A
Louisville, CO 80027

Re: DELO - Downtown East Louisville
Phases 1, 1A, and 2
Trip Generation Comparison Memo
Louisville, CO
(LSC #130330)

Dear Mr. McClure:

In response to your request, LSC Transportation Consultants, Inc. has prepared this trip generation comparison memorandum for the proposed DELO Phases 1, 1A, and 2 development in Louisville, Colorado.

Table 1 shows the estimated trip generation potential for the previously approved land use from the June, 2013 *DELO Traffic Impact Analysis* by LSC as well as the trip generation potential for the currently proposed land use.

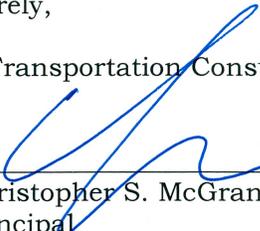
Based on standard ITE trip generation rates, the currently proposed land use could generate about 185 additional vehicle-trips on the average weekday. During the morning peak-hour of adjacent street traffic, about 29 additional vehicle-trips would be generated. During the afternoon peak-hour of adjacent street traffic, about seven additional vehicle-trips would be generated.

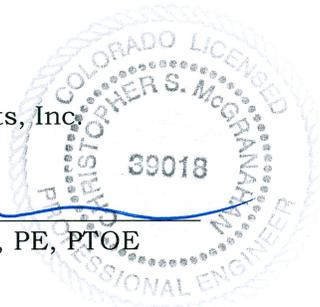
* * * * *

We trust our findings will assist you in gaining approval of the proposed DELO - Downtown East Louisville, Phases 1, 1A, and 2 development. Please contact me if you have any questions or need further assistance.

Sincerely,

LSC Transportation Consultants, Inc.

By 
Christopher S. McGranahan, PE, PTOE
Principal



CSM/wc

11-3-14

Enclosures: Table 1

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**Table 1
ESTIMATED TRAFFIC GENERATION COMPARISON
Downtown East Louisville - DELO Phases 1, 1A, and 2
City of Louisville, Colorado
(LSC #130330; November, 2014)**

Trip Generating Category	Quantity	Trip Generation Rates ⁽¹⁾					Vehicle - Trips Generated					Percent Internal Capture and Alternative Modes	External Vehicle - Trips Generated					
		Average Weekday	AM Peak Hour In	AM Peak Hour Out	PM Peak Hour In	PM Peak Hour Out	Average Weekday	AM Peak Hour In	AM Peak Hour Out	PM Peak - Hour In	PM Peak - Hour Out		Average Weekday	AM Peak Hour In	AM Peak Hour Out	PM Peak - Hour In	PM Peak - Hour Out	
Previously Approved Land Use from June, 2013 DELO TIA by LSC																		
Single-Family Homes	72.0 DU	9.52	0.188	0.563	0.630	0.370	685	14	41	45	27	5%	651	13	38	43	25	
Apartments	172.0 DU	6.65	0.102	0.408	0.403	0.217	1,144	18	70	69	37	5%	1,087	16	67	66	35	
Office	6.0 KSF	11.03	1.373	0.187	0.253	1.237	66	8	1	2	7	10%	60	7	1	1	7	
Restaurants	6.0 KSF	127.15	5.946	4.865	5.910	3.940	763	36	29	35	24	10%	687	32	26	32	21	
							Subtotal =	2,658	76	141	151	95		2,484	68	132	142	88
Currently Proposed Land Use - Updated Trip Assignment shown in Updated Figures 5a and 5b																		
TownHomes ⁽²⁾	60.0 DU ⁽³⁾	5.81	0.075	0.365	0.348	0.172	349	4	22	21	10	5%	331	4	21	20	10	
Apartments ⁽⁴⁾	130.0 DU	6.65	0.102	0.408	0.403	0.217	865	13	53	52	28	5%	821	13	50	50	27	
Office ⁽⁵⁾	22.6 KSF ⁽⁶⁾	11.03	1.373	0.187	0.253	1.237	249	31	4	6	28	10%	224	28	4	5	25	
Restaurants ⁽⁷⁾	11.3 KSF	127.15	5.946	4.865	5.910	3.940	1437	67	55	67	45	10%	1293	60	49	60	40	
							Subtotal =	2,900	115	134	146	111		2,669	105	124	135	102
							Net Increase =	242	39	-7	-5	16	Net Increase =	185	37	-8	-7	14

Notes:

- (1) Source: *Trip Generation*, Institute of Transportation Engineers (ITE), 9th Edition, 2012
- (2) Land Use No. 230 - Townhouse
- (3) DU = Dwelling Units
- (4) Land Use No. 220 - Apartment
- (5) Land Use No. 710 - General Office Building
- (6) KSF = 1,000 square feet
- (7) Land Use No. 932 - High-Turnover (Sit-Down) Restaurant

- **DELO Phase II: Resolution No. 6, Series 2015** - A request for a final subdivision plat and a final planned unit development (PUD) to develop phase 2 of the 14.13 acres within the core project area of the HWY 42 framework plan. The project includes a diversity of housing products, civic spaces, urban plazas, streetscapes and commercial opportunities.

- Applicant, Owner and Representative: RMCS, LLC.
- Case Manager: Sean McCartney, Principal Planner

Conflict of Interest and Disclosure:

Tengler works for Comcast in a completely different division. Pritchard says Tengler was able to participate in the preliminary presentation and he does not see any additional conflict. Pritchard defers to Troy Russ, Planning Department. Russ defers to the judgment of Tengler. Tengler does not recuse himself.

Public Notice Certification:

Published in the Boulder Daily Camera on January 25, 2015. Posted in City Hall, Public Library, Recreation Center, Courts, and Police Building on January 26, 2015. Mailed to surrounding property owners and property posted on January 26, 2015.

Staff Report of Facts and Issues:

Sean McCartney presented from Power Point.

- Located east of BNSF railroad, west of Highway 42, south of Griffith Street, and north of South Street (also known as Industrial Area and Caledonia Place Subdivisions)
- Preliminary PUD/plat/SRU for entire development came before Planning Commission on July 11, 2013 and to City Council on August 20, 2013.
- Final Plat/PUD/SRU for DELO Phase 1 and 1A came before Planning Commission on May 8, 2014 and City Council on July 1, 2014. The initial phase included the development of 55 residential townhome units and 1,000 sf of office use to be located in an area bounded by Griffith Street to the north, East Lafayette Street to the south, the Burlington Northern Santa Fe (BNSF) rail road to the west and Cannon Street to the east. It is currently under construction.
- DELO Phase 2 is proposed to involve the development of 135 residential units (5 townhomes and 130 apartments) and approximately 31,066 SF commercial/office uses on a parcel of land bounded by East Lafayette Street to the north and east, South Street to the south, and the BNSF rail road to the west. DELO Phase 2, if approved, would be the final phase of the DELO development project.
- The approved DELO Phase 1 combined with this Phase 2 request, if approved, would represent a total development of 190 residential units (60 townhomes and 130 apartments) and 32,066 sf of commercial/office uses for the DELO development. The combined totals of these requested final development plans would yield a reduction of 54 residential units and an increase of 20,066 sf of commercial/office uses when compared to the approved DELO preliminary PUD.

Land Use	Preliminary Plat/PUD	Final Plat/PUD	Change	Notes
Total Res. Units	244	190	- 54	22% decrease
- TH Units	72	60	- 12	17% decrease
- Apt. Units	172	130	- 42	24% decrease
- Studio/1 Bed Apt. units	87	108	+ 21	20% increase
- 2/3 bed Apt. units	85	22	- 63	75% decrease
Commercial	12,000 sf	31,066 sf	+ 20,066 sf	158% increase

- **Streets and Alleys** - DELO Phase 2 completes the formal development of Cannon Street, from the intersection of Griffith Street to the intersection of South Street. Between East Lafayette and South Street, Cannon Street is proposed to be designed as a “Woonerf”.
- **Access** - Access to the development will be from Short Street, South Street, Cannon Street, and Front Street (a private roadway) located in DELO Phase 1. Possible future traffic signal at 42 and South Street, which CDOT will warrant.
- **Public Spaces** - There are two primary public open space areas dedicated in this PUD: Nawatny Greenway (Outlot B, Outlot C and westerly portion of East Lafayette Street) and Caledonia Plaza (Outlot A). Through discussions with the developer and City officials, it was decided that both open space areas will be dedicated to the City of Louisville but the developer would be responsible for the maintenance (clean up and mowing) while the City of Louisville would be responsible for the upkeep (repair and replacement) and water. South Street Gateway – pedestrian underpass to connect to Downtown Louisville. Woonerf – pedestrian oriented activated area designed in 60’ right of way with larger sidewalk. Caledonia Plaza – public gathering area designed for activity with trellis structures. Nawatny Greenway – designed for drainage/retention basin and/or public active space.
- **Land Use** - Land uses in the mixed use – residential (MU-R) zone district require a minimum mixture of two different land uses for the developments on property larger than five acres in size. To fulfill the requirement, the proposed development is requesting three land uses: residential, commercial and office.

	Use(s)	# of DU's	Height	Parking Provided/Required	Ratio Per Unit
Phase 2 – Residential Townhomes	Townhomes	5	Min. 1 stories/35' Max: 3 stories/45'	159/131	2.65
	Apartments	130	Min: 1 stories/35' Max: 3 stories/45'	283/171	2.18
Phase 2 - Commercial	Restaurant, Retail, Office	31,066 sf	Min: 1 stories/16** Max: 3 stories/45'		

* The 1 story component of the commercial building requires a waiver; 2 story is the minimum height allowed.

- Buildings A, B, and C are similar types with 33 units with 27 studio/1 bedroom, 6 2/3 bedroom units. They are under 45’ in height and comply with MUDDSG for height. Component of 43.5’ is the stair access for rooftop mechanical. Remainder of structure height is 38-39’. There are 202 shared surface parking spaces. Visitor parking provided on Cannon Street. There are minor changes in elevations between structures. Building A wraparound patios creating “eyes” on public spaces for crime prevention.
- Building C is a stand-alone building with two less units but has 1700 SF activity room/office area on the first floor.
- Building D is commercial structure that requests only one story, housing the office/retail/restaurant. It will front the South Street underpass.
- **Signs** –
 - **Roof Mounted Sign** – Building D, in Block 13 is a commercial building on Cannon Street and signs are regulated by the Downtown Sign Manual. The

downtown sign manual does not allow signs above the roof line of the building. There is a sign proposed for the roof of the building, above a future restaurant space. The applicant is requesting a roof mounted sign in hopes of creating an iconic sign structure similar to the Empire sign in Downtown Louisville.

- **Monument Sign** – The applicant is requesting a monument sign be placed next to the parking lot, adjacent to Short Street, in Block 14. Because this block is not located facing an arterial, it must use the Downtown Sign Manual. The Downtown Sign Manual does not permit monument signs. The applicant is requesting the monument sign as a gateway sign to the subdivision.

- **SRU** – Staff requesting ground floor residential uses along portions of Cannon to encourage pedestrian interaction, Staff asked for additional treatments such as opening, doors, and architectural bump-outs and variations.
- **Waivers** –

Waiver	Requirement	Request	Location
Street sections	Suburban	Shared Spaces/walkable	Phase 2
Min. Building Height	2 Stories/35'	1 Story/16'	Building D, Block 13
Min. Rear Setback – Accessory Structures	20'	0'	Phase 2
Indoor Eating & Drinking Establishments	Gross Floor Area: 5,000 SF	Gross Floor Area: 6,000 SF	Phase 2
Signs	-No roof mounted -No monument signs in MU-R	-Roof mounted -Monument Sign in MU-R	-Building D, Block 13 -Block 14

- Staff recommends approval of the requested final plat, final PUD, and SRU for Phase 2 of the development called DELO. The proposal will allow for the development of a mixed use project in the Highway 42 Revitalization Area. Staff has determined the waivers are appropriate under LMC Section 17.14.090 and 17.28.120 to allow for an effective development given the location and surrounding land uses.
- Staff recommends the following conditions of approval:
 - 1. *The applicant shall continue to work with the City on the specifics of the maintenance of open space and roadways. Final details will be included in the submittal packet prior to City Council.*
 - 2. *If an offsite solution cannot be found, staff requires the detention basin and public gathering space, as depicted in DELO Phase 1 and 1A, be located in Outlot B, Outlot C and within the E. Lafayette Street right of way. The basin should be designed to provide stairs, stepping down from Cannon Street through the proposed retaining walls, to make this space more publically interactive. The stairs should be a minimum width of 50 feet along Canon Street, or a mutually support design alternative that is open and accessible.*
 - 3. *Should a regional offsite detention basin be created to detain the drainage of the Highway 42 development (including DELO Phase 1/1A and Phase 2), staff requires the applicant reinstate the plans for Nawatny Greenway as depicted in DELO Phase 2 PUD.*
 - 4. *The City and applicant shall address the comments listed in the Public Works memo dated February 5, 2015 prior to City Council.*

Commission Questions of Staff:

Moline asks about Building D and waivers. Where will the monument sign be located?

McCartney says Building D is the southern-most building on South Street, intersection of Cannon and South. The monument sign will be located at Building E.

Moline asks how do you move or change some of the uses in the future if warranted? Is the PUD revisited to convert some commercial to residential or to move commercial or office into something that was previously residential?

McCartney answers if there is an impact on parking and additional parking elements.

Otherwise, use is permitted by right. PUD does not establish the uses; it establishes the development. If they are asking to reduce the retail and allow for residential, then an SRU is necessary.

Rice asks about McClure's letter submittal. He states that there are 135 residential units in Phase 2 and approximately 31,000 SF of commercial/office. McClure's letter speaks in terms of 113 residential units and 26,000 SF of commercial.

McCartney answers that the initial submittal was for 108 apartment units and 5 townhomes and 21,000 SF commercial. During the review process, McClure increased the overall apartment units and increased the commercial.

Rice asks about Building D being one story. He clarifies that it is located to the north of the South Street area and not adjacent to the transition zone. This end of the building is where the roof-mounted sign will be located. The sign will be lower than the adjacent building.

McCartney answers yes.

Rice clarifies that the parking provided in this plan exceeds all design standards.

McCartney answers yes.

Rice asks about the Public Works City Engineer memo that discusses a much higher level of maintenance for Cannon Street. Rice asks if the PC approves the motion as suggested, will this issue be worked out before the City Council gets it.

Russ answers that the City is working out details on the Woonerf as well as the public spaces. The developer is committed to snow plow the Woonerf but the City will plow Cannon leading to the Woonerf.

Brauneis asks about the Historical Preservation Board's reaction to the demolition of the three buildings.

McCartney answers during the preliminary PUD, the HPB stated that if a building is worthy of retention, that it should be retained on site. During Phase 1 and 1A, the developer agreed to save the "most character" building at 1004 Griffith. It is currently on site and ready to be placed. The HPB also wanted more "nod" to the history of the area and the applicant is naming the Nawatny Greenway for Louis Nawatny who helped create Louisville and Caledonia Plaza which is the one of the original subdivisions in this area.

Brauneis asks about the open space that is City-owned but maintained by the developer. Are there examples currently existing in the City?

McCartney says that in Steel Ranch, there are similar areas. It is more common in newer developments.

Brauneis asks if the City will cover the water expenses for any irrigation of the spaces. How much say does the City have species selection?

McCartney says this proposal went through Horticultural and Forestry Advisory Board (HFAB). They have seen the initial design but they wish to see the final construction drawings to determine if species are compatible with the areas.

Brauneis asks about the primary path for bike travel north to south. Is it Cannon in the Woonerf?

McCartney says the Woonerf is being created as a multi-modal pedestrian and bicycle area.

Russ says that the design of the Woonerf is "self-enforced". All local streets are 25 mph.

Because of its design, it can be lower speed. Staff will work with Public Works to find unique

identifiers. Cannon is in the Woonerf to provide the north and south route. The Highway 42 Plan will have an 8' crushed fine trail on the eastern edge from South Boulder Road to Pine, and on the west side, there will be a 6' to 8' sidewalk, as well as bike lanes on Highway 42. There was not enough room for a bike trail along the train corridor.

Brauneis asks about the light from the roof-mounted sign and where it is directed?

McCartney says the applicant can answer the question. Russ answers that if the sign is installed, it will need to follow the lighting standards in the Downtown Sign Manual, which allows neon, backlit, or halo lighting as well as indirect lighting. No cabinet sign or internally lit sign.

Brauneis asks about the off-site water drainage and restoration of the Nawatny Greenway.

McCartney says that when the regional drainage is built, it will be located near the current shop building off Empire. Once it is completed, there will be no need for on-site drainage for this project. The Nawatny Greenway will be constructed as a manicured area with walks and appropriate grades.

Applicant Presentation:

RMCS Inc., Justin McClure, 105 Cherrywood Lane, Louisville, CO

21 South Sunset Street, Longmont, CO (office)

Richard Brew and David Waldner, business partners

- Shows comparative slides of the preliminary and final plans.
- This is an urban renewal area. RMCS is presenting a catalyst redevelopment project with enough size, significance, and quality to set precedence for the entire corridor.
- DELO Plaza (Tebo project) has been submitted for final approval.
- Two acres of public dedication for public enjoyment.
- The Omnibus will be located near the Nawatny Greenway.
- Caledonia Plaza will be designed to blend with the buildings and offer public enjoyment.
- McClure shows two videos. The first one is a core video from 2008 that introduced the concept of the South Street Pedestrian Gateway. The second video shows DELO Phase 2 at completion.
- Applicant presents material boards. Brauneis makes motion to accept material boards, Tengler seconds, and voice vote approval.
- McClure discusses different materials used in the design.
- Roof-mounted sign is located across from the new City parking area. The reason for the sign is to tie in with the iconic signage on Main Street.

Commission Questions of Applicant:

Rice asks about materials and special treatment, what is useful life? What is the grout? Rice has had experience with the 16th Street Mall in Denver which is not "wearing well".

McClure says a typical road section includes concrete curb and asphalt. They are using higher quality materials than found in a typical section. It will be a consistent material choice. There are no colors in the concrete because colors fade and matching is difficult. It is concrete scored in specific patterns.

Russ answers about City maintenance. Typically when public land dedication comes to the City, we maintain it. There is a City base road investment and park investment. The developer is putting in the materials that extend the life of the road. Public Works, Parks, Planning Staff, and the developer have been discussing this situation.

Brauneis asks about black color and heat island effect.

McClure says they looked at it from a heat perspective and maintenance perspective. Asphalt is hotter and colored concrete can be hot. The colors selected are native Colorado colors with no black.

Brauneis asks about the sign being a significant distance to adjacent buildings. There are exterior balconies. He is concerned about neon and the potential of light pollution.

McClure says there are three units that would see the sign. In Downtown Louisville in an urban area, it is traditional and expected. There is no specific lighting package for this sign but prefers to leave neon as an option.

Brauneis asks about the large number of places named “Caledonia” in Louisville. He appreciates the historical tie but wonders if Caledonia Plaza is the right name.

McClure says that this is the Caledonia subdivision established in 1895. He feels it is incredible that they are replatting this subdivision in 2014.

Brauneis asks about the conditions that Staff has recommended. Are you in support.

McClure says they are in full support.

Moline asks about parking. Why did you propose parking amounts above the limits? Do you see any complications with people wanting to go to commercial areas on South Street?

McClure says there is ample parking sitting in back, roughly 307 spaces total. He understands the inconvenience to deliveries and visitors but he thinks the housing fronting the Gateway and South Street Pedestrian Plaza will be attractive.

Tengler asks about parking and large Downtown events such as parades and Street Faire parking.

McClure says yes. It is a public right-of-way. The planned City parking space with 79 spaces can be used for events. 99 spaces are being added by the Cannon Street extension. The Farmers Market has expressed interest in utilizing the Cannon Street Woonerf.

Tengler asks about the single story restaurant and whether it takes the entire northern length of the building.

McClure says yes.

Tengler asks why it is a single story building instead of two story. Is the sign a critical design component?

McClure says they are heavily focused on pedestrian scale. The video he showed illustrates the “broken” look of the development and the residential transition to commercial.

Public Comment:

Jeff Scott, 1032 E. South Street, Louisville, CO.

He is concerned about construction and not being able to park on the street in front of his house. He has two vehicles parked on the street and trailers in the back.

Russ says that the area near those homes will be closed off to vehicular traffic. He will introduce Mr. Scott to Joliette Woodson, project manager, who is working to improve the alley south of South Street. From Cannon Street west, South Street will be closed to vehicles. Russ states that this issue is not related to the DELO Phase 2 project. It is the South Street Gateway Plaza project.

Bob Tofté, 1417 Courtesy Road, Louisville, CO. He is a member of the Louisville Revitalization Commission (LRC). He wishes to state that over the many months and years, it has been rewarding to work with DELO people. They answer every question we’ve asked and gone above and beyond to provide the facts we hoped to get. The LRC fully supports this project. In particular, he is glad the storm drainage will work out. The park will be a great amenity. He lives in the Little Italy area and he is excited to see this come to fruition.

Summary and request by Staff and Applicant:

Staff recommends approval.

Closed Public Hearing and discussion by Commission:

O’Connell is in favor with the four conditions. She is in favor of leaving the sign open to neon and thinks it fits with the character of the surrounding area. If a resident rents or purchases one

of the three units, it may be attractive to them. It is a great project and the thoroughness and thoughtfulness that has gone into it is fantastic from both the Staff and the applicant. Brauneis appreciates the quality and detail to all of the different decisions that arise. He is in favor. He will not hold it up on the question of neon.

Tengler says it is analogous to someone buying a home next to an airport after it has been built. If a resident chooses an apartment near a sign like that, he/she has made the determination that it is acceptable or desirable. It is an urban environment. He applauds the development team as well as Staff. The presentation was terrific. The project spanned many years and he appreciated the tutorial Staff presented to bring the PC up to speed. The DELO team has done a fantastic job given the level of attention to detail regarding construction materials including concrete. It is remarkable.

Rice was not on the PC when this project first came through, so he was not in the discussion regarding mix of residential versus commercial. He is excited about the introduction of commercial space because it is important to allow for additional revenue opportunities and potential for the City.

Moline says it was good to see the changes from the preliminary to the final project. As a Commission member, he is glad to see it is even better than it was before. The changes are positive and it will be a wonderful addition to the City.

Pritchard is in agreement and support of this project. This is a quality product and it will be well received by this community. In regard to the waiver issues, he feels Louisville is getting the better part of the waivers. Changing heights breaks up the buildings. Regarding the sign, people will live here because they want to and the sign is part of living downtown.

Motion made by Brauneis to approve **DELO Phase II: Resolution No. 6, Series 2015** - A request for a final subdivision plat and a final planned unit development (PUD) to develop phase 2 of the 14.13 acres within the core project area of the HWY 42 framework plan. The project includes a diversity of housing products, civic spaces, urban plazas, streetscapes and commercial opportunities. Second by Moline. Roll count vote.

Name	Vote
Chris Pritchard	Yes
Cary Tengler	Yes
Steve Brauneis	Yes
Jeff Moline	Yes
Ann O'Connell	Yes
Tom Rice	Yes
Scott Russell	N/A
Motion passed/failed:	Pass



City Council
Meeting Packet
March 3, 2015

Addendum #1
Items presented at the meeting.

245 NORTH 96TH STREET ANNEXATION**Annexation Agreement****DISCUSSION POINTS**

2013 Flood Displacements: Specifically, for a period of three years from the date of initial occupancy of the unit, BCHA and any entity(ies) which own, control or manage the age-restricted or affordable units shall first favor applicants displaced as a result of the 2013 flood disaster.

Age-Restricted Housing - The property shall include not less than 70 age-restricted residential units (55 years of age or older). This stipulation is subject to the Housing and Urban Development's (HUD) Office of Fair Housing requirements. Subject to fair housing requirements and renewal after 40 years.

Affordable Units - In addition to age restricted units, no less than 25% of the total amount of all residential units developed on the Property shall be affordable units (58). Subject to fair housing requirements and renewal after 40 years.

245 NORTH 96TH STREET ANNEXATION**Annexation Agreement****DISCUSSION POINTS**

Local Preference* – Louisville residents and employees of local businesses and organizations will be given a local preference for all age restricted and affordable units. The preferences, listed below, would have equal weight in determining the order of an applicant's placement on the waiting list. Subject to fair housing requirements and renewal after 40 years.

- Current Louisville residents;
- Louisville - Municipal, School District and Fire District Employees;
- Employees of Louisville Businesses; or
- Family - 62 years +, or disabled, seeking to be in proximity of family in Louisville.

**245 NORTH 96TH STREET ANNEXATION
Annexation Agreement
DISCUSSION POINTS**

Fee Waivers; Other Assistance - The County is requesting the City provide financial assistance to the project. This section simply states the age restricted housing, affordable housing, and local preference requirements would be tied to a separate financial assistance agreement within 90 days.

If the Parties do not reach agreement on a financial assistance package within 90 days of execution of this agreement, the age restriction, affordability requirement, and local preferences are void.

 Heather Balsler

From: Ashley Stolzmann
Sent: Tuesday, March 3, 2015 8:14 PM
To: Heather Balsler
Subject: FW: LSEW - Affordable Housing flyer - Info for tonights meeting

From: Alex Bradley [louisvilleenrollmentwatch@gmail.com@mail78.atl51.rsgsv.net] on behalf of Alex Bradley [louisvilleenrollmentwatch@gmail.com]
Sent: Tuesday, March 03, 2015 1:42 PM
To: City Council
Subject: LSEW - Affordable Housing flyer - Info for tonights meeting

LSEW - Informational flyer from BCHA on Affordable Housing Development

[<https://gallery.mailchimp.com/6bd52827ad098fc0ad6a4192e/images/ab8c4e5c-bd32-4664-86e0-3fee558cca93.jpg>]

[<http://cdn-images.mailchimp.com/icons/social-block-v2/color-facebook-48.png>]<http://facebook.us9.list-manage.com/track/click?u=6bd52827ad098fc0ad6a4192e&id=263fc45acd&e=99fbf08ac8>
Share<http://facebook.us9.list-manage.com/track/click?u=6bd52827ad098fc0ad6a4192e&id=b28567a7f5&e=99fbf08ac8>

[<http://cdn-images.mailchimp.com/icons/social-block-v2/color-forwardtofriend-48.png>]<http://us9.forward-to-friend.com/forward?u=6bd52827ad098fc0ad6a4192e&id=87509be2db&e=99fbf08ac8> Forward<http://us9.forward-to-friend.com/forward?u=6bd52827ad098fc0ad6a4192e&id=87509be2db&e=99fbf08ac8>

[Map of Alkonis Development]
Informational Flyer from BCHA on Affordable Housing Development BCHA put out a really good flyer that gives information (including a map) on the Affordable Housing Development. Click here to see the flyer (pdf) flyer.
<<http://facebook.us9.list-manage.com/track/click?u=6bd52827ad098fc0ad6a4192e&id=bbbfc5cbf&e=99fbf08ac8>>

Reminder on tonights meeting:

* City Council Meeting, Tuesday, March 3, 7 pm, City Hall, Click here for Meeting Packet<http://facebook.us9.list-manage.com/track/click?u=6bd52827ad098fc0ad6a4192e&id=46aa6fcc81&e=99fbf08ac8>

Colorado Housing and Finance Authority Income and Rent Tables for 30% - 120% of Area Median Income (AMI) for Colorado Counties for 2014
HUD Release Date December 18, 2013

-Since 2008, the IRS allows some LIHTC projects to use higher HERA limits and to be "held harmless" from limit decreases.
 -To identify the correct limits for your LIHTC project, it is essential to know its placed in service (PIS) date.
 -To use HERA limits, a project must have PIS as of 12.31.2008. To be "held harmless," a project must PIS prior to the implementation date of the new limits.
 -This year, LIHTC projects whose counties experienced a decrease in limits AND that PIS before 01.31.2014 may continue to apply the 2013 limits in 2014.

County	2014 MAXIMUM RENTS							2014 INCOME LIMITS							
	HERA	AMI	0 BDRM	1 BDRM	2 BDRM	3 BDRM	4 BDRM	1 PERSON	2 PERSON	3 PERSON	4 PERSON	5 PERSON	6 PERSON	7 PERSON	8 PERSON
Archuleta	Y	60%	781	837	1,005	1,161	1,296	31,260	35,760	40,200	44,640	48,240	51,840	55,380	58,980
Archuleta	Y	55%	716	767	921	1,064	1,188	28,655	32,780	36,850	40,920	44,220	47,520	50,765	54,065
Archuleta	Y	50%	651	698	837	967	1,080	26,050	29,800	33,500	37,200	40,200	43,200	46,150	49,150
Archuleta	Y	45%	586	628	753	870	972	23,445	26,820	30,150	33,480	36,180	38,880	41,535	44,235
Archuleta	Y	40%	521	558	670	774	864	20,840	23,840	26,800	29,760	32,160	34,560	36,920	39,320
Archuleta	Y	30%	390	418	502	580	648	15,630	17,880	20,100	22,320	24,120	25,920	27,690	29,490
Archuleta		120%	1,437	1,540	1,848	2,134	2,382	57,480	65,760	73,920	82,080	88,680	95,280	101,880	108,360
Archuleta		100%	1,197	1,283	1,540	1,778	1,985	47,900	54,800	61,600	68,400	73,900	79,400	84,900	90,300
Archuleta		80%	957	1,026	1,231	1,422	1,587	38,300	43,800	49,250	54,700	59,100	63,500	67,850	72,250
Archuleta		65%	778	834	1,001	1,156	1,290	31,135	35,620	40,040	44,460	48,035	51,610	55,185	58,695
Archuleta		60%	718	770	924	1,067	1,191	28,740	32,880	36,960	41,040	44,340	47,640	50,940	54,180
Archuleta		55%	658	706	847	978	1,091	26,345	30,140	33,880	37,620	40,645	43,670	46,695	49,665
Archuleta		50%	598	641	770	889	992	23,950	27,400	30,800	34,200	36,950	39,700	42,450	45,150
Archuleta		45%	538	577	693	800	893	21,555	24,660	27,720	30,780	33,255	35,730	38,205	40,635
Archuleta		40%	479	513	616	711	794	19,160	21,920	24,640	27,360	29,560	31,760	33,960	36,120
Archuleta		30%	358	384	461	533	595	14,350	16,400	18,450	20,500	22,150	23,800	25,450	27,100
Bent	Y	60%	648	693	832	961	1,072	25,920	29,580	33,300	36,960	39,960	42,900	45,840	48,840
Bent	Y	55%	594	635	763	881	983	23,760	27,115	30,525	33,880	36,630	39,325	42,020	44,770
Bent	Y	50%	540	578	693	801	893	21,600	24,650	27,750	30,800	33,300	35,750	38,200	40,700
Bent	Y	45%	486	520	624	721	804	19,440	22,185	24,975	27,720	29,970	32,175	34,380	36,630
Bent	Y	40%	432	462	555	641	715	17,280	19,720	22,200	24,640	26,640	28,600	30,560	32,560
Bent	Y	30%	324	346	416	480	536	12,960	14,790	16,650	18,480	19,980	21,450	22,920	24,420
Bent		120%	1,212	1,297	1,557	1,798	2,007	48,480	55,320	62,280	69,120	74,760	80,280	85,800	91,320
Bent		100%	1,010	1,081	1,297	1,498	1,672	40,400	46,100	51,900	57,600	62,300	66,900	71,500	76,100
Bent		80%	807	865	1,037	1,198	1,337	32,300	36,900	41,500	46,100	49,800	53,500	57,200	60,900
Bent		65%	656	702	843	974	1,087	26,260	29,965	33,735	37,440	40,495	43,485	46,475	49,465
Bent		60%	606	648	778	899	1,003	24,240	27,660	31,140	34,560	37,380	40,140	42,900	45,660
Bent		55%	555	594	713	824	919	22,220	25,355	28,545	31,680	34,265	36,795	39,325	41,855
Bent		50%	505	540	648	749	836	20,200	23,050	25,950	28,800	31,150	33,450	35,750	38,050
Bent		45%	454	486	583	674	752	18,180	20,745	23,355	25,920	28,035	30,105	32,175	34,245
Bent		40%	404	432	519	599	669	16,160	18,440	20,760	23,040	24,920	26,760	28,600	30,440
Bent		30%	303	325	390	450	502	12,150	13,850	15,600	17,300	18,700	20,100	21,500	22,850

* Affordable Housing Development - voting on the annexation of the land into the city AND for the type of development allowed (high density with commercial).

* DELO Phase II - First reading for last phase of DELO. Number of units, architecture, streets...the works. (5 town homes, 130 apartments, 31,066 sf office/retail) Final hearing is scheduled for 3/17/15.

I am planning on going to the meeting tonight. The one big thing that I would like confirmation/clarification on is the number of truly affordable housing vs. market rate housing that will be in the Affordable housing development. Will report back in the next installment....

Hope to see some of you tonight despite the snow!

Alex Bradley

Join Our Facebook Group<<http://facebook.us9.list-manage.com/track/click?u=6bd52827ad098fc0ad6a4192e&id=88c15df7b2&e=99fbf08ac8>>

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Nancy Varra

From: Wife <runningkim@gmail.com>
Sent: Tuesday, March 03, 2015 6:29 PM
To: City Council
Subject: Growth

Dear City Council

I have been a resident of Louisville for the last 10 years. I am writing because I have not been able to attend any of the recent meetings regarding city growth, but would like to share my opinion. I understand much of the building that has taken place in the last 3 years was approved 20 years ago. Regardless of when it was approved it all developed in a short period of time and is having an impact on our schools, roads and public facilities like the rec center. I would like the current council to limit future growth of residential and commercial buildings so that we can have some time to realize the full impact of these past developments that are not even fully built and occupied. From what I have read, increased residential development leads to the need for more tax dollars to cover government costs, so we increase commercial building to increase tax revenue and the next thing you know we are like Boulder with buildings on top of buildings and you can't drive across town in 30 minutes and you can't go to the rec center because you will never get a lane in the pool or time on the treadmill. Do we really want this for our town? I say NO. Don't ruin our small town. If you want to keep Louisville one of the best placed in the US to live, don't over build it.

Kim Riemer
182 W Elm Street

